

**To:** **COUNCIL**

**Meeting Date:** **01/18/22**

**Subject:** **Request to Demolish and Rebuild an Accessory Structure on a Part V Designated Property – 999 Blair Road**

**Submitted By:** **Lisa Prime MCIP RPP, Chief Planner**

**Prepared By:** **Abraham Plunkett-Latimer, Senior Planner - Heritage**

**Report No.:** **22-004 (CD)**

**File No.:** **R01.02.02**

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## **Recommendations**

THAT Report 22-004 (CD) - Request to Demolish and Rebuilt Accessory Structure on a Part V Designated Property – 999 Blair Road - be received;

AND THAT demolition of the existing accessory building and construction of a new accessory building be approved on the property municipally known as 999 Blair Road as outlined in Report 22-004 (CD).

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## **Executive Summary**

### **Purpose**

- The applicant is proposing to demolish an existing accessory building and to build a new accessory building.
- The property is designated under Part V of the Ontario Heritage Act as part of the Blair Village Heritage Conservation District.
- Council approval is required for demolition and alterations on properties designated as properties of cultural heritage value or interest under the Ontario Heritage Act.

### **Key Findings**

- 999 Blair Road was designated as part of the Blair Village Heritage Conservation District in 2001. The property is not considered a historic or very historic property as defined by the Blair Village Heritage Conservation District Plan.

- The applicant is proposing to demolish an existing one storey frame accessory structure and replace it with a larger one and a half-storey accessory structure.
- The existing structure has been evaluated and determined to have no cultural heritage value or interest.
- The new proposed structure conforms to the residential infill policies of the Blair Village Heritage Conservation District Plan.

## Financial Implications

- There are no financial implications.

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## Background

999 Blair Road was designated in 2001 under Part V of the Ontario Heritage Act as part of the Blair Village Heritage Conservation District by By-law 205-01.

999 Blair Road is identified as being in Area 10 of the District as defined by the Heritage Conservation District Plan. Area 10 was recognized for its historical and landscape value and because it is adjacent to Langdon Hall. The Plan notes:

“This area has historical and landscape value. A newer single detached residence is now present on this property, but it was the site of the stables for Langdon Hall and the Gran Allee entrance to the estate passes through. It is, therefore, deemed appropriate to include in the Heritage District.”

None of the structures on the property were identified as having cultural heritage value or interest.

The house that was located on the property at the time of designation was demolished and replaced with the current house in approximately 2010.

The applicant is proposing to demolish an existing single-storey accessory building, currently used as a garage or shed and replace it with a one-and-a-half-storey structure incorporating storage space, a garage, and hobby spaces.

On July 28, 2021 the Committee of Adjustment granted the required variances from the Zoning By-law to permit the construction of the proposed building provided that the designs were approved by the Municipal Heritage Advisory Committee.

On November 4, 2021 the applicant submitted a Cultural Heritage Impact Assessment that assessed the impacts of demolishing the existing accessory building and assessed whether the new structure conformed to the policies of the Blair Village Heritage Conservation District Plan (**Appendix A**).

On December 16, 2021 the Municipal Heritage Advisory Committee reviewed the proposal and made the following recommendations:

THAT Report 21-033(MHAC) be received;

AND THAT Council approve the demolition of the existing accessory building and construction of a new accessory building on the property municipally known as 999 Blair Road as outlined in Report 21-033(MHAC).

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## Analysis

### Strategic Alignment

PLACE: To take care of, celebrate and share the great features in Cambridge that we love and mean the most to us.

Goal #3 - Arts, Culture, Heritage and Architecture

Objective 3.2 Conserve and make positive contributions to our heritage districts and buildings throughout the community.

The proposed development makes a positive contribution to the Blair Heritage Conservation District because it does not involve the demolition of significant resources, and it is designed to be sympathetic to the character of the District.

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## Comments

The applicant is proposing to demolish an existing one-storey accessory building currently used as a garage or shed and replace it with a new one and a half storey accessory building incorporating a garage space, hobby space, storage space.

### Demolition of Existing Building

The existing shed is a one-storey wood frame building clad and roofed with metal sheathing. It has a poured concrete floor and a gable roof. It has vinyl windows and three metal garage doors on the front elevation.



Figure 1: Existing Accessory Building Front Elevation, Megan Hobson, 2021.



Figure 2: Existing Accessory Building Rear Elevation, Megan Hobson, 2021





Figure 3: Existing Accessory Building Interior, Megan Hobson, 2021.

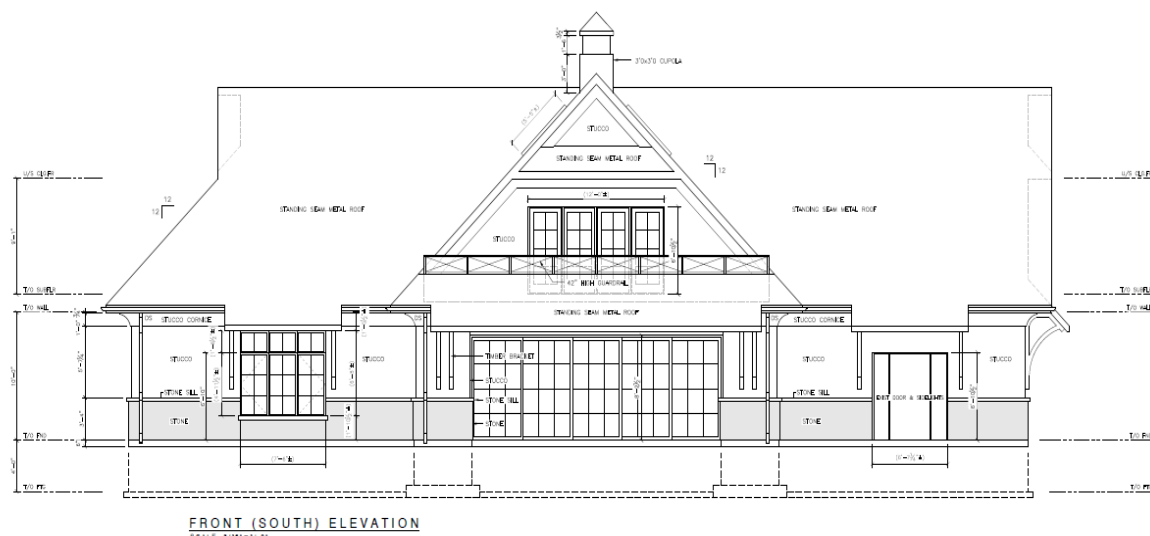
The building was described as part of a Cultural Heritage Impact Assessment prepared by Megan Hobson Consulting and dated 2 November, 2021. The author speculated that the structure may have been constructed as an agricultural shed in approximately the 1930s or 1940s.

The building was evaluated using criteria established by Ontario Regulation 9/06 and was determined to meet none of the criteria of significance. Therefore, the structure is not considered to hold cultural heritage value or interest and may be demolished without impacting the heritage value of the property.

### **Conformity with Blair Village Heritage Conservation District Plan**

The property is located within the Blair Village Heritage Conservation District. The District is regulated by the Blair Village Heritage Conservation District Plan. The Plan does not outline policies specifically for accessory buildings but does outline policies regulating residential infill development.

The applicant is proposing to replace the existing structure with a new one and a half-storey structure containing garage and workshop on the main floor and hobby rooms on the second floor. The design of the structure incorporates design elements from the Arts and Crafts style including stucco cladding, prominent wooden brackets, and simple form characterized by a large front gable with second-storey balconies.



**Figure 4: Front Elevation Proposed Accessory Structure, Barry Wade Group, 2021.**

The proposed development conforms to the residential infill policies of the Blair Village Heritage Conservation District Plan, which specify that new infill should: retain as many existing trees as possible; be positioned to be complementary to neighbouring houses; preserve special landscape features; employ a design that has a simple and strong form; be one to two storeys in height; have windows and doors set evenly and symmetrically; and use building materials that blend in with the rural character of Blair, such as wood, stucco, brick, and stone.

Heritage staff is of the opinion that the proposed design is appropriate for the location and would not detract from the character of the Blair Village Heritage Conservation District.

If Council does not approve the proposed demolition and new build, or approves with conditions, the applicant may appeal the decision to the Ontario Land Tribunal.

## Existing Policy/By-Law

### Ontario Heritage Act

Section 42 of the Ontario Heritage Act identifies the process for altering a Part V designated property. It states:

**42 (1)** No owner of property situated in a heritage conservation district that has been designated by a municipality under this Part shall do any of the following, unless the owner obtains a permit from the municipality to do so:

1. Alter, or permit the alteration of, any part of the property, other than the interior of any structure or building on the property.
2. Erect, demolish or remove any building or structure on the property or permit the erection, demolition or removal of such a building or structure. 2005, c. 6, s. 32 (1).

### **City of Cambridge Official Plan (2018)**

Section 4.6 of the City of Cambridge Official Plan states that;

The City will regulate as fully as possible the demolition, removal or inappropriate alteration of buildings of cultural heritage value or interest included in the Register of Cultural Heritage Resources referred to in Section 4.3.

### **Blair Village Heritage Conservation District Plan (2001)**

The Blair Village Heritage Conservation District Plan sets out the following approach for residential infill:

The conservation approach is to ensure that new residential infill is harmonious with the old village character. This will entail conserving as much of the prevailing landscape as possible, positioning the house in a manner complementary with its neighbours and designing the house so that it fits into the historic streetscape.

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## **Financial Impact**

There are no financial implications.

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## **Public Input**

Municipal Heritage Advisory Committee meetings are open to the public.

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## **Internal/External Consultation**

There was no internal/external consultation undertaken.

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## **Conclusion**

The accessory building proposed for demolition has been found to have no cultural heritage value or interest and so it may be demolished without impacting the cultural heritage value or interest of 999 Blair Road.

The proposed new structure is designed to sensitively complement the character of the Blair Village Heritage Conservation District through its use of stucco cladding, wooden brackets, a simple and strong form, and one and a half storey massing with influences of Arts and Crafts design. Based upon the above analysis, staff is recommending that Council approve the proposed demolition and new construction. This change will not detract from the heritage value or interest of the Blair Village Heritage Conservation District.

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## Signature

### Division Approval



**Name: Lisa Prime, MCIP RPP**  
**Title: Chief Planner**

Reviewed by the CFO

Reviewed by Legal Services

### Departmental Approval

**Name: Hardy Bromberg**  
**Title: Deputy City Manager, Community Development**

### City Manager Approval



**Name: Hardy Bromberg**  
**Title: Acting City Manager**

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## Attachments

Appendix A: Cultural Heritage Impact Assessment 999 Blair Road, Megan Hobson, November 2, 2021.



# HERITAGE IMPACT ASSESSMENT



## 999 BLAIR ROAD - OUTBUILDING

BLAIR VILLAGE HCD, CAMBRIDGE

02 NOV 2021

**MEGAN HOBSON** CAHP  
M.A. DIPL. HERITAGE CONSERVATION  
BUILT HERITAGE CONSULTANT  
[mhobson@bell.net](mailto:mhobson@bell.net)

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APPENDIX B: ARCHITECTURAL DRAWINGS [BARRY WADE HOMES INC.]

## EXECUTIVE SUMMARY

Megan Hobson consulting was retained by Barry Wade Homes Inc to prepare a scoped *Cultural Heritage Impact Assessment (CHIA)* for a proposal to replace an existing outbuilding at 999 Blair Road in Cambridge because the property is located within the Blair Village Heritage Conservation District and is adjacent to Langdon Hall. The CHIA was scoped because the property is identified as a non-contributing property within the District.

The assessment finds that:

1. the existing outbuilding to be demolished does not have cultural heritage value;
2. the proposed demolition of a non-historic building and construction of a new outbuilding is consistent with policies in the Blair Village HCD Plan;
3. the proposed outbuilding will have no negative impacts on the Blair Village HCD or on the adjacent Langdon Hall property.

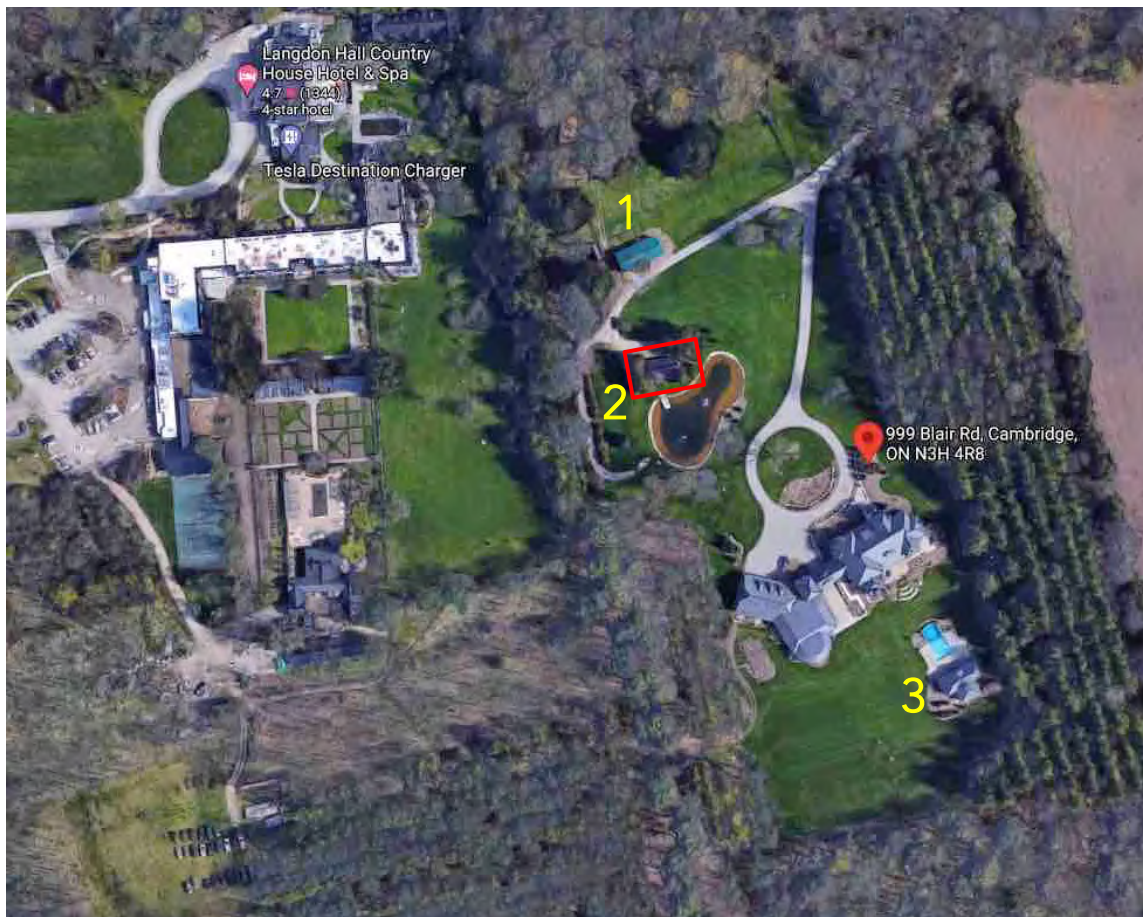
Therefore, no mitigation is required, and it is recommended that the applicant be permitted to demolish the existing outbuilding and construct the proposed outbuilding.

## 1.0 METHODOLOGY

Preparation of this report included a review of relevant heritage policies and legislation, and a review of existing historical information about the subject property and its cultural context. Consultation with Abraham Plunkett-Latimer, Senior Planner at the City of Cambridge was undertaken by Barry Wade Homes Inc. and shared with the consultant. Photographs and architectural drawings were provided by Barry Wade Homes Inc. and are included in the appendix of this report.

## 2.0 LOCATION & SITE DESCRIPTION

The subject property is a large residential property located at 999 Blair Road in Cambridge. The house is not visible from Blair Road and is set in large grounds surrounded by woods. The house is approached by a long driveway from Blair Road. The area in front of the house contains a large lawn, a water feature in the form of an artificial pond, and two outbuildings. There is a third outbuilding behind the house in the form of a pool cabana. The house consists of a main block connected to a pavilion that contains the garage and additional living space. The subject property is adjacent to Langdon Hall, an historic estate that operates as a spa and hotel. The property line between Langdon Hall and the subject dwelling is heavily wooded.



AERIAL VIEW: 999 Blair Road – the house is set in large grounds that contain a pond, swimming pool and 3 outbuildings. The applicant proposes to demolish Outbuilding 2 and replace it with a new structure.



The Dwelling and Pool Cabana (Outbuilding 3) located on the subject property were built for the current owners by Barry Wade Homes in 2009-11. Outbuilding 1 and 2 are currently being used for storage.

## Outbuilding 2

Out building 2, that is proposed for demolition, is a frame shed that has been converted to a garage. It has a rectangular plan and a gable roof. It is constructed with dimensioned lumber and the wall and roof are covered with metal sheathing and it has a poured concrete floor. The front elevation has been modified for three garage doors. The rear and side elevations have vinyl windows and there are wood doors at either end that don't match, the door on the east elevation is a raised panel style door with four panels, the door on the west elevation has glazing in the upper half. The framing has been modified for the doors and windows, suggesting that they are not original to the structure. In general, the building appears to be an agricultural shed constructed in the 1930s or 40 that has been heavily modified.



OUTBUILDING 2 – EXTERIOR – north elevation (left) – south elevation (right)



OUTBUILDING 2 - INTERIOR – looking east (left) and west (right)

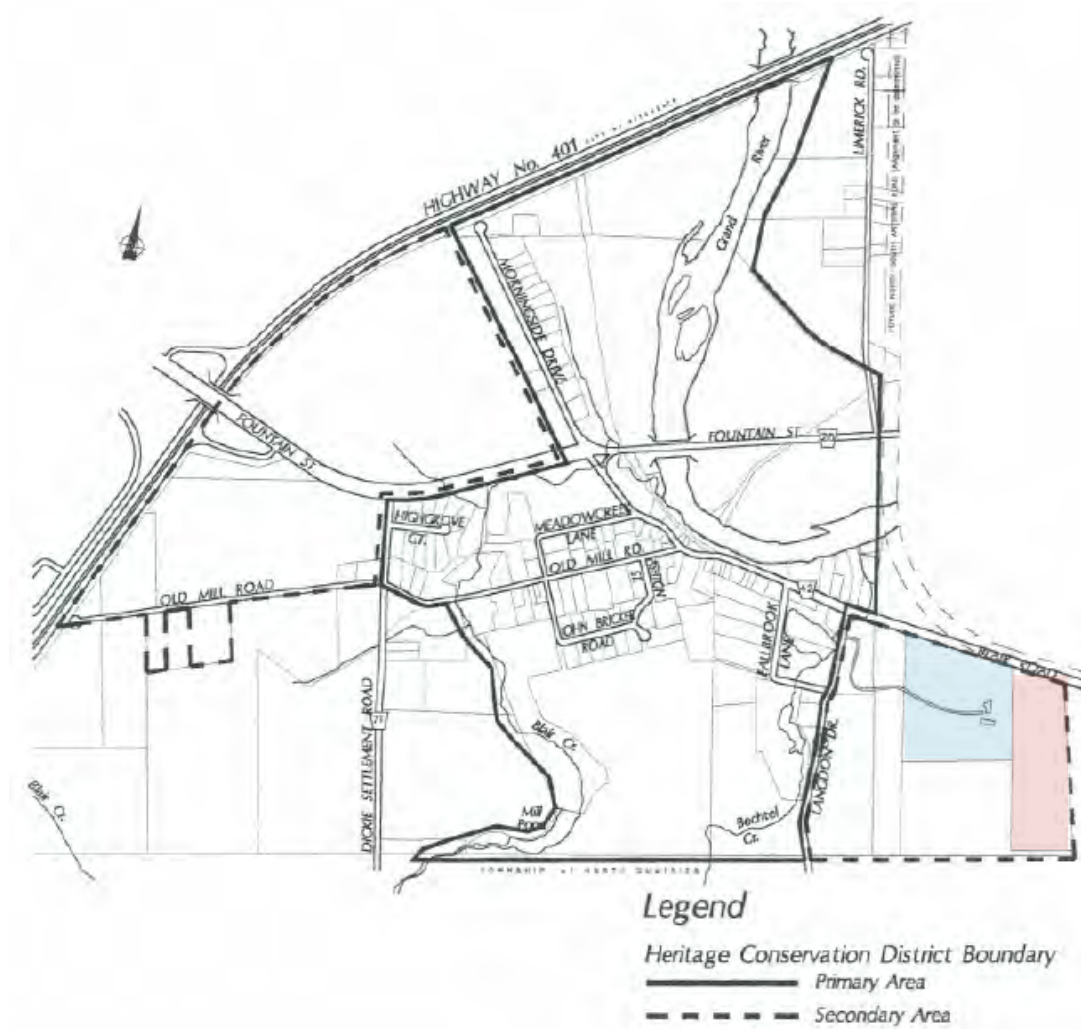


### 3.0 HERITAGE PLANNING CONTEXT

The owner has conditional approval from the Committee of Adjustment to build a 2-storey storage building, subject to a satisfactory review by the Municipal Heritage Advisory Committee. A minor variance is needed for the 4.5 m height of the proposed building because it is slightly higher than the maximum height permitted for accessory buildings under the zoning regulation.

#### Blair Village HCD

The subject property is located within the Blair Village Heritage Conservation District (Blair Village HCD) and is identified as a non-contributing property located in a Secondary Area (Area 3). The purpose of the District Plan is to conserve and enhance the historic and rural village character of Blair and ensure compatible development. The Blair Village Heritage Conservation District Plan includes policies for 'new development' and for 'building demolition'.



DISTRICT BOUNDARY Blair Village HCD – the subject property is a non-contributing property in a Secondary Area (shaded pink) – Langdon Hall is located adjacent to the subject property (shaded blue)

## Langdon Hall

Additionally, the subject property is adjacent to Langdon Hall, a former estate that now operates as a Hotel and Spa. Langdon Hall is a Greek Revival style manor that was built in 1898. It is described in the District Plan as “an exemplary historic estate of national architectural and historic significance.” The house and its associated landscape are identified as heritage attributes.



Langdon Hall – current photo of the house (left) and a c.1910 photo of the gardens (right)

The District Plan includes the following information on Langdon Hall:

### **Blair Heritage Plan - Area #3 Langdon Hall:**

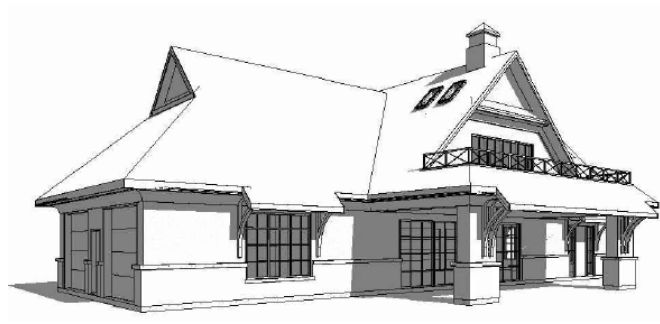
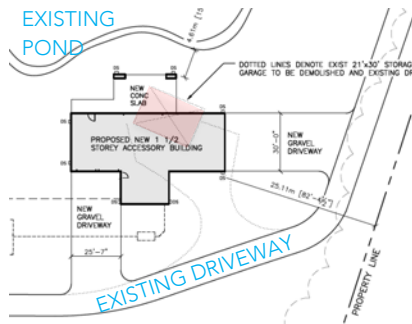
Built in 1898, Langdon Hall with its enclosing estate of rides, walks, forest and walled garden is a rare and remarkable heritage property rarely found elsewhere in Ontario. It has been superbly restored and is very well maintained. It is considered geographically discreet yet integral to the history of the Blair area, and is deemed appropriate to be included in the Heritage District. (p. 8)

The magnificent Langdon Hall, situated on the east side of the village and said to have been a great source of pride in the community when it was built for Eugene Langdon Wilks between 1898 and 1901. This impressive residence was designed by New York architect Edward Lee Young in the American Federal Revival style and was meant to be clad in clapboard in the manner of similar mansions overlooking the Hudson River. The project was carried out by Toronto architect Eden Smith who changed the material to red brick. The Federal style is distinguished by a semi-circular fanlight above the front door and windows aligned horizontally and vertically in symmetrical rows. On the main front facade there is a neoclassical style full-height entrance portico with pediment and the roof supported by ionic columns. Equally important as the building is the landscape setting, with an expansive forelawn which sets the house off admirably upon the approach up the driveway. (p. 19)

Langdon Hall is an exemplary historic estate of national architectural and historic significance. The principle building and its associated historic landscapes are integral heritage attributes that are widely recognized in the village. (p. 57)

## 4.0 PROPOSED WORK

The proposed work includes demolition of an existing 1-storey frame shed adjacent to the pond in the front yard and construction of a new 2-storey storage shed in the same location. Designs for the new shed by Barry Wade Homes Inc. are included in the appendix of this report.

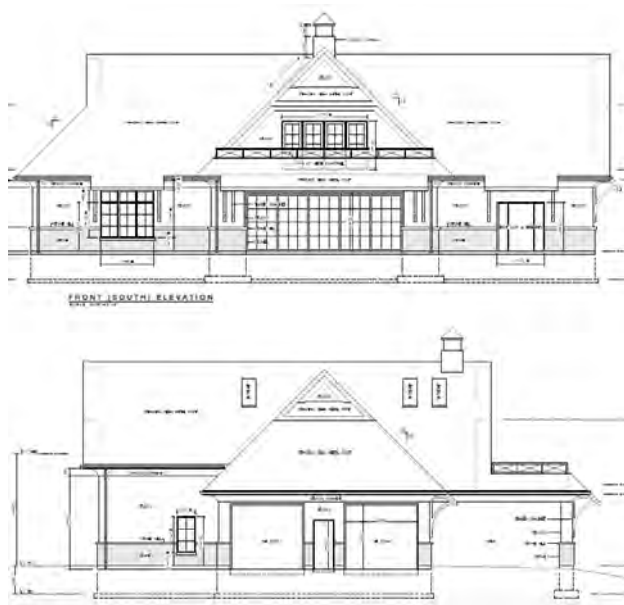


PROPOSED OUTBUILDING – existing outbuilding to be demolished (shaded pink)

The design of the proposed outbuilding is Neo-Traditional and has design elements that evoke an Arts & Crafts style coach house. The building has a T-shaped footprint and a steeply pitched cross gable roof with a standing seam metal cladding. The roof overhang is supported by decorative brackets and the large projecting gable on the front is topped by a small cupola. The wall cladding materials are stone and stucco. The interior has two floors with a garage and storage areas on the ground floor and hobby rooms on the 2<sup>nd</sup> floor. The 2<sup>nd</sup> floor is contained within the roof and the building reads as a one-and-a-half storey structure from the exterior. There is a 2<sup>nd</sup> floor balcony above the entrance on the main elevation that faces the driveway. Two graveled areas will link the existing driveway to the front and side of the building.



SITE PLAN



SOUTH & WEST ELEVATIONS

## 5.0 IMPACT ASSESSMENT

### Ontario Regulation 09/06

Outbuilding 2 has been evaluated according to *Ontario Regulation 09/06; Criteria for Determining Cultural Heritage Value or Interest* and does not meet any criteria for Designation under the *Ontario Heritage Act*.

CRITERIA Ontario Regulation 09/06	ASSESSMENT (YES/NO)	RATIONALE
<b>1. Design of physical value:</b>		
i) Is a rare, unique, representative or early example of a style, type, expression, material or construction method	NO	It is a 1-storey frame shed constructed c.1930s/40s that has been converted to a garage.
ii) Displays a high degree of craftsmanship or artistic merit	NO	It is a 1-storey frame shed with metal cladding.
iii) Demonstrates a high degree of technical or scientific achievement	NO	It is a 1-storey frame shed with metal cladding.
<b>2. Historical or associative value</b>		
i) Has direct associations with a theme, event, believe, person, activity, organization or institution that is significant to a community	NO	No significant associations have been directly linked to this structure.
ii) Yields, or has the potential to yield, information that contributes to an understanding of a community or culture	NO	It does not have potential for yielding information that would make a significant contribution.
iii) Demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to the community	NO	It is not associated with a designer or builder.
<b>3. Contextual Value</b>		
i) Is important in defining, maintaining, or supporting the character of an area	NO	It does not contribute to the character of the area.
ii) Is physically, functionally, visually, or historically linked to its surroundings	NO	No significant links to the surroundings have been identified.
iii) Is a landmark	NO	It has not been identified as a landmark.

## Blair Village HCD Plan

The proposed demolition of Outbuilding 2 is consistent with the Blair Village Heritage Conservation District Plan policies regarding demolition. Comments are provided in the chart below:

BUILDING DEMOLITION Blair Village HCD policies	COMMENT
<b>Conservation</b> Conservation of historic buildings in the District is a primary goal. Property owners are encouraged to work with existing buildings, altering, adding to and integrating them into new development rather than demolishing.	Outbuilding 2 was built c. 1930s/40s and has been heavily modified. It has been evaluated according to Ontario Regulation 09/06 and does not meet any criteria. It is not a historic building that warrants conservation.
<b>Relocation</b> Where removal of an historic building is contemplated, moving the building onto a new site shall be considered.	Outbuilding 2 is not a historic building that warrants relocation.
<b>Salvage</b> Where removal is not feasible, the careful salvage of key historic building features shall be undertaken so that they can be used again in the restoration of other similar style buildings.	Outbuilding 2 is not a heritage building and does not have historic features suitable for salvage and reuse.

The design of the new outbuilding is consistent with the Blair Village Heritage Conservation District Plan policies regarding new construction. Comments are provided in the chart below:

NEW CONSTRUCTION Blair Village HCD policies	COMMENT
<b>Garages</b> The garage shall be setback from the front (either recessed or detached), or if the garage is in the front of the principal dwelling, that the garage doors not face the street.	The proposed outbuilding is set deep in the lot and screened by vegetation. It will not be visible from Blair Road or from Langdon Hall.
<b>Materials</b> Building materials that blend in with the rural character of Blair, such as wood, stucco, brick and stone, should be used. Vinyl and aluminum siding are strongly discouraged.	The primary cladding materials are stone and stucco.
<b>Driveways</b> Gravel finish driveways are encouraged. This is the rural tradition.	Two small gravel areas are proposed that will link the new outbuilding to the existing driveway.



## Langdon Hall

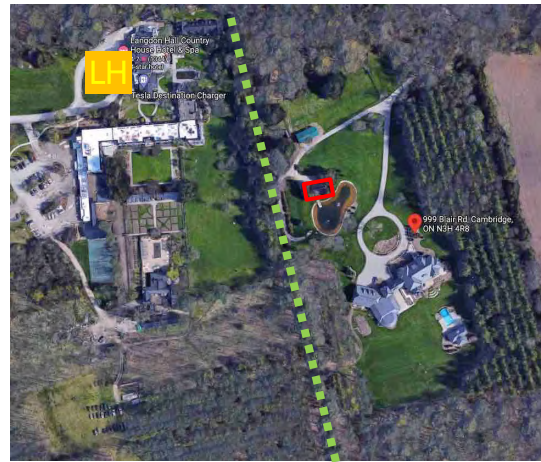
The proposed outbuilding will have no negative impacts on Langdon Hall. The height of the proposed building is limited to 2-storeys and is visually buffered from the historic estate by mature trees. It is also noted that the proposed outbuilding is located adjacent to the back of the Langdon Hall property where there is new development that provide further visual buffering.



Langdon Hall (LH) – the proposed outbuilding will be screened by mature vegetation along the property line



PROPERTY MAPPING



AERIAL PHOTO

## 6.0 CONCLUSIONS & RECOMMENDATIONS

The assessment finds that:

4. the existing outbuilding to be demolished does not have cultural heritage value;
5. the proposed demolition of a non-historic building and construction of a new outbuilding is consistent with policies in the Blair Village HCD Plan;
6. the proposed outbuilding will have no negative impacts on the Blair Village HCD or on the adjacent Langdon Hall property.

Therefore, no mitigation is required, and it is recommended that the applicant be permitted to demolish the existing outbuilding and construct the proposed outbuilding.

## 7.0 SOURCES

City of Cambridge:

- *Blair Village Heritage Conservation District Plan* (1999)

Ministry of Tourism, Culture & Sport (MTCS)

- *Ontario Heritage Toolkit* (2006)

Parks Canada

- *Standards & Guidelines for the Conservation of Historic Places in Canada* (2010)

## 8.0 QUALIFICATIONS OF THE AUTHOR

The author of this report is a professional member of the *Canadian Association of Heritage Professionals*. Formal education includes a Master of Arts in Architectural History from the University of Toronto and a diploma in Heritage Conservation from the Willowbank School of Restoration Arts. Professional experience includes an internship at the Ontario Heritage Trust, three years as Architectural Historian and Conservation Specialist at Taylor Hazell Architects in Toronto, and 10 years in private practice in Ontario as a heritage consultant. Other relevant experience includes teaching Art History at the University of Toronto and McMaster University and teaching Research Methods and Conservation Planning at the Willowbank School for Restoration Arts in Queenston. In addition to numerous heritage reports, the author has published work in academic journals such as the *Journal of the Society for the Study of Architecture in Canada* and the *Canadian Historical Review*.



## Existing Storage Garage to be Demolished - 999 Blair Rd, Cambridge



North Elevation



West Elevation



South Elevation



East Elevation



Existing Storage Garage to be Demolished – 999 Blair Rd, Cambridge



Interior looking east

September 27, 2021



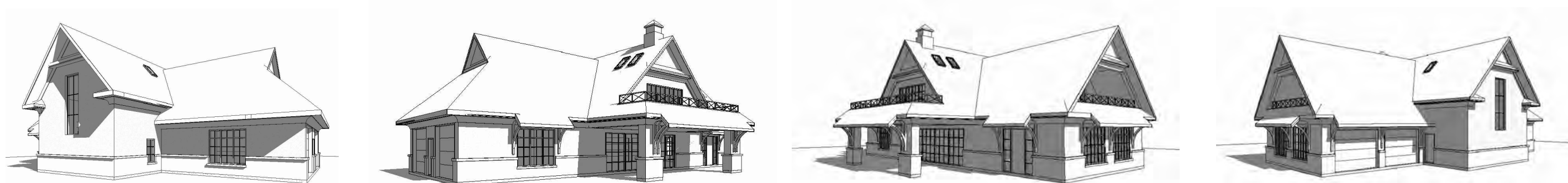
Existing Storage Garage to be Demolished – 999 Blair Rd, Cambridge



Interior looking west

September 27, 2021





AREAS	FINISHED	UNFIN
<b>MAIN FLOOR</b>		
WR1, HALL, MECH	466	
FINISHED GARAGE	1,458	
UTILITY GARAGE		878
<b>TOTAL MAIN FLOOR</b>	<b>1,924</b>	<b>878</b>
	<b>2,802</b>	
<b>SECOND FLOOR</b>		
HOBBY 1, WR2, STOR, STAIR	1,251	
HOBBY ROOM 2	362	
UNFINISHED WEST ATTIC		400
<b>TOTAL SECOND FLOOR</b>	<b>1,613</b>	<b>400</b>
<b>TOTAL FLOOR AREAS</b>	<b>3,537</b>	<b>1,278</b>
<b>OTHER AREAS</b>		
COVERED PATIO	642	
SOUTH BALCONY	419	
EAST BALCONY	219	



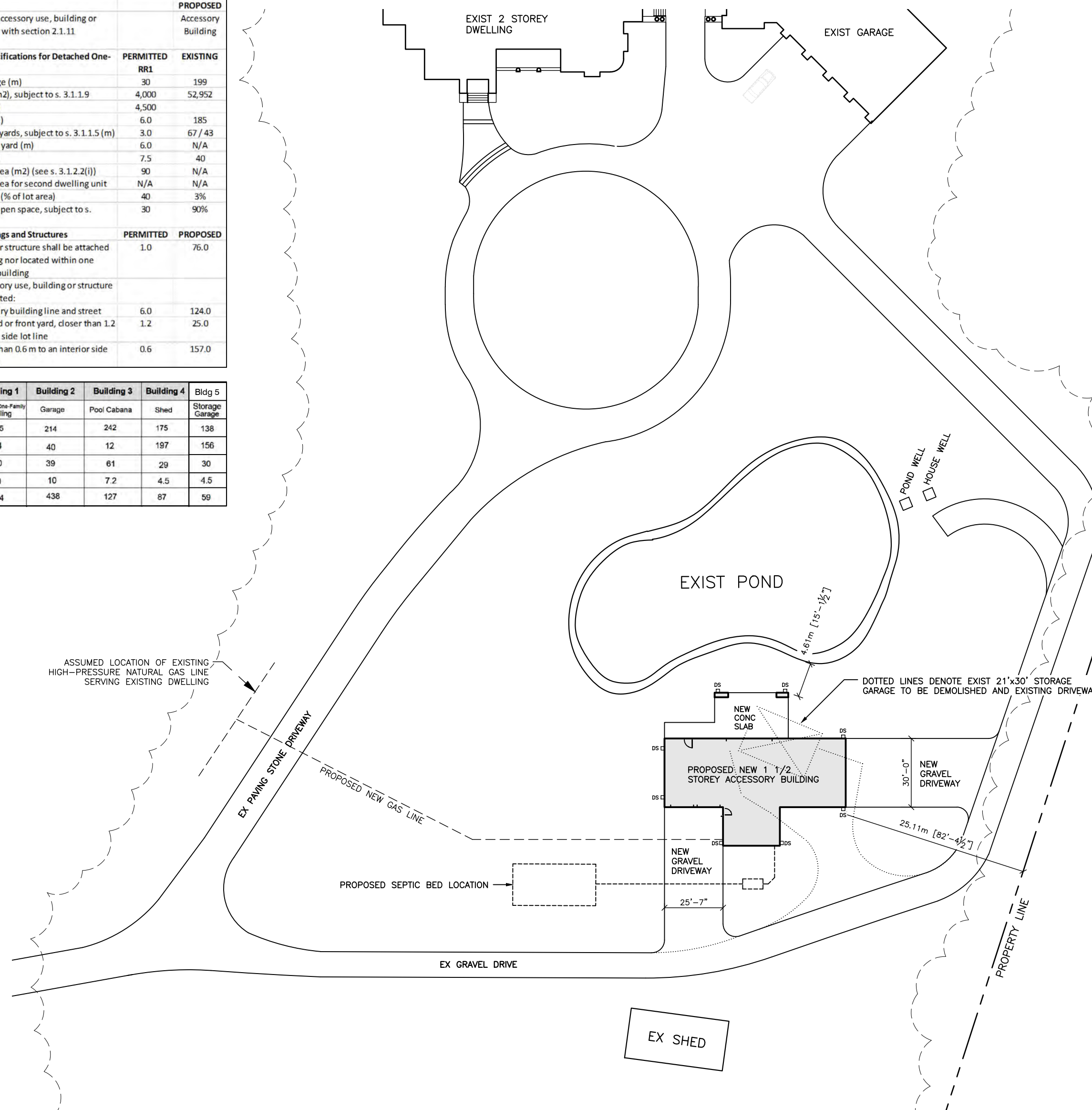
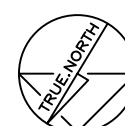
SITE DATA		EXISTING	
	Gross Lot Area	102,399	
	Zones on Property	OS1, RR1	
	OS1 Lot Area	49,447	
	RR1 Lot Area	52,952	
RR1 ZONE		PROPOSED	
3.1.2.1	Use Permitted - (r) an accessory use, building or structure in accordance with section 2.1.1.1		Accessory Building
3.1.2.2	Site Development Specifications for Detached One-Family... in RR- Zones	PERMITTED	EXISTING
(a)	(i) minimum lot frontage (m)	RR1	
		30	199
(b)	(i) minimum lot area (m <sup>2</sup> ), subject to s. 3.1.1.9	4,000	52,952
(c)	maximum lot area (m <sup>2</sup> )	4,500	
(d)	minimum front yard (m)	6.0	185
(e)	minimum interior side yards, subject to s. 3.1.1.5 (m)	3.0	67 / 43
(f)	minimum exterior side yard (m)	6.0	N/A
(g)	minimum rear yard (m)	7.5	40
(h)	minimum gross floor area (m <sup>2</sup> ) (see s. 3.1.2.2(i))	90	N/A
(i)	minimum gross floor area for second dwelling unit	N/A	N/A
(j)	maximum lot coverage (% of lot area)	40	3%
(k)	minimum landscaped open space, subject to s. 3.1.1.4 (% of lot area)	30	90%
2.1.11	Accessory Uses, Buildings and Structures	PERMITTED	PROPOSED
1.(a)	no accessory building or structure shall be attached to the principal building nor located within one metre of the principal building	1.0	76.0
1.(b)	no free standing accessory use, building or structure shall be erected or located:		
(i)	between the regulatory building line and street	6.0	124.0
(iii)	in an interior side yard or front yard, closer than 1.2 metres to the interior side lot line	1.2	25.0
(v)	in a rear yard, closer than 0.6 m to an interior side lot line or rear lot line	0.6	157.0

Existing Buildings	Building 1	Building 2	Building 3	Building 4	Blgd 5
Existing Use	Detached One-Family Dwelling	Garage	Pool Cabana	Shed	Storage Garage
Distance from front lot line	185	214	242	175	138
Distance from rear lot line	54	40	12	197	156
Distance from side lot line	60	39	61	29	30
Height	10	10	7.2	4.5	4.5
Ground Floor Area (GFA)	414	438	127	87	59

SCALE 1" = 200'



SCALE 1" = 40'

[illegible]

Do not scale the drawings.

All dimensions must be verified by the sub-contractors prior to commencement.

If any discrepancies, contradictions or ambiguities occur on the drawings, immediately advise our firm.

Drawings not to be used for construction unless signed below:

CLIENT: \_\_\_\_\_ DATE: \_\_\_\_\_

BARRY WADE: \_\_\_\_\_ DATE: \_\_\_\_\_



DESIGNER-BUILDER

776497 ONT LTD

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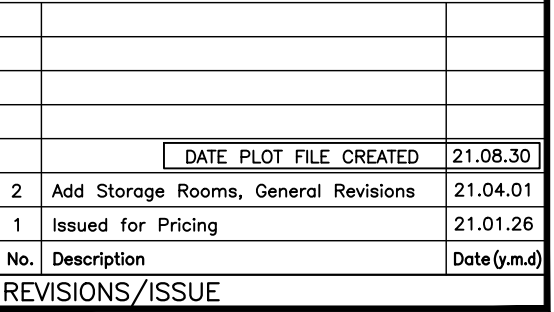
Barry Wade Group

(519) 268-2995

[barry@barrywade.ca](mailto:barry@barrywade.ca)

PLOT DATE	Aug. 30, 2021
SCALE	AS NOTED
SHEET SIZE	24"x18"
DESIGN	BW
Drawn	RC

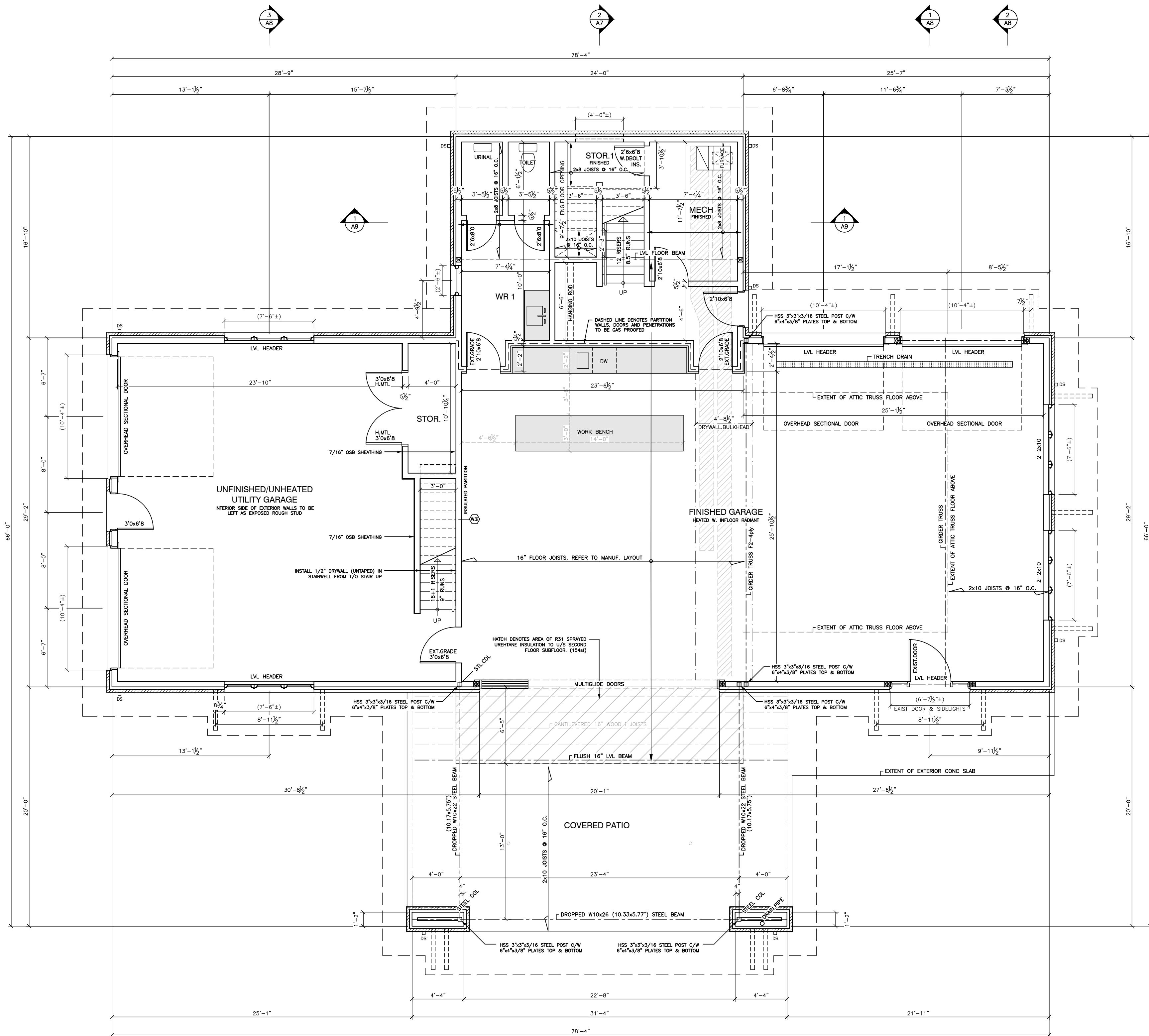
Project	
<b>HACKING COACH HOUSE</b>	
Address	
<b>999 BLAIR RD CAMBRIDGE, ON</b>	
Drawing Title	
<b>SITE PLAN</b>	
Project No.	Drawing No.
<b>2004</b>	<b>A1</b>



 776497 ONT LTD Barry Wade Group (519) 268-2995 <a href="mailto:barry@barrYWade.ca">barry@barrYWade.ca</a>		DESIGNER-BUILDER
PLOT DATE Aug 30, 2021		
SCALE 3/16"=1'-0"		
SHEET SIZE 24"x18"		
DESIGN BW		
Drawn RC		

Project	
<b>HACKING COACH HOUSE</b>	
Address	
<b>999 BLAIR RD CAMBRIDGE, ON</b>	
Drawing Title	
<b>FOUNDATION PLAN</b>	
Project No.	Drawing No.
<b>2004</b>	<b>A2</b>






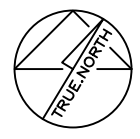
REVISIONS/ISSUE	
DATE	PLOT FILE CREATED
21.08.30	
2	Add Storage Rooms, General Revisions
21.04.01	
1	Issued for Pricing
21.01.26	
No.	Description
	Date (y.m.d)



Do not scale the drawings.  
All dimensions must be verified by the sub-contractors prior to commencement.  
If any discrepancies, contradictions or ambiguities occur on the drawings, immediately advise our firm.  
Drawings not to be used for construction unless signed below:  
CLIENT: \_\_\_\_\_ DATE: \_\_\_\_\_  
BARRY WADE: \_\_\_\_\_ DATE: \_\_\_\_\_



DESIGNER-BUILDER  
776497 ONT LTD  
Barry Wade Group  
(519) 268-2995  
barry@barrywade.ca



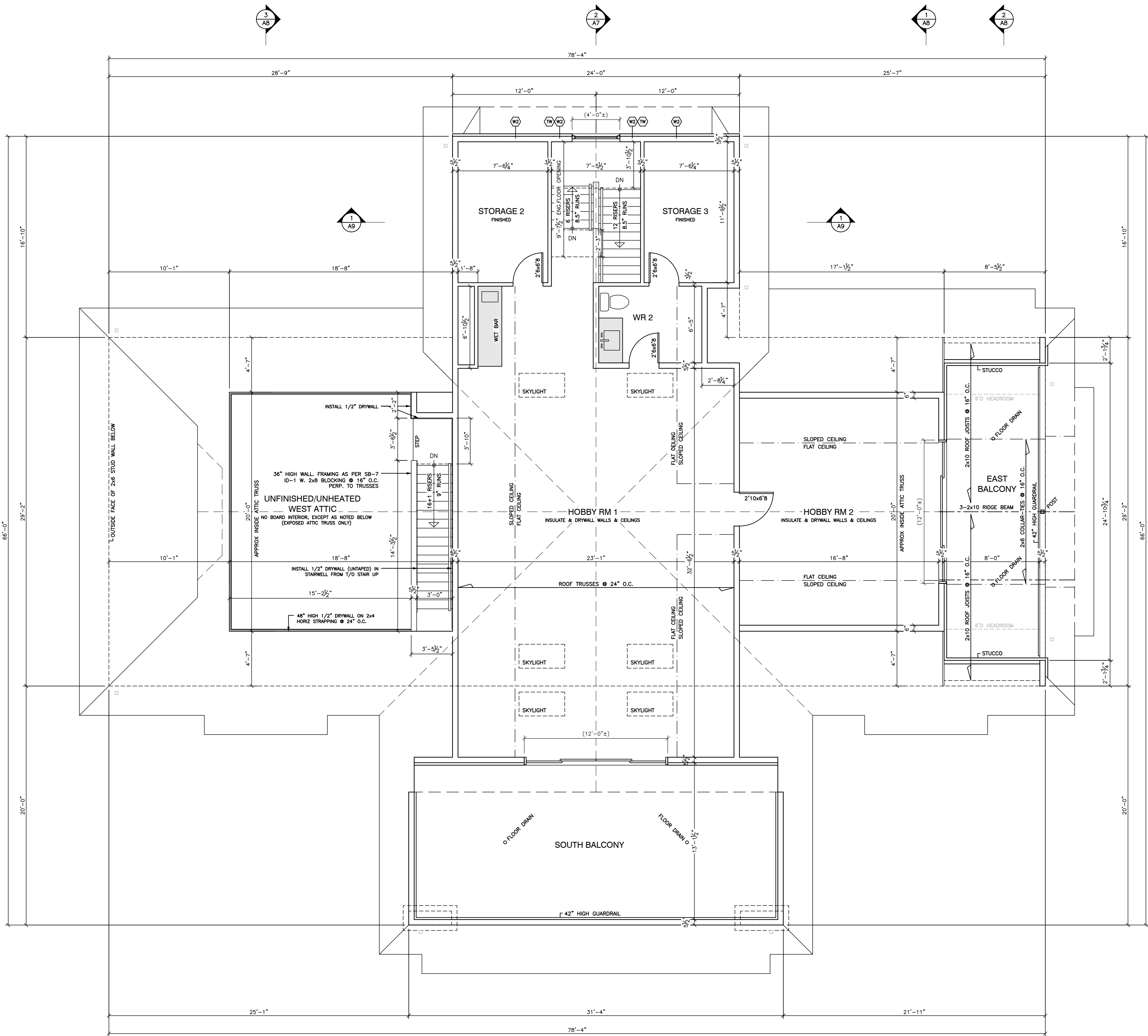
PLOT DATE	Aug 30, 2021
SCALE	3/16"=1'-0"
SHEET SIZE	24"x18"
DESIGN	BW
Drawn	RC

Project  
**HACKING COACH HOUSE**

Address  
**999 BLAIR RD  
CAMBRIDGE, ON**

Drawing Title  
**MAIN FLOOR PLAN**

Project No. <b>2004</b>	Drawing No. <b>A3</b>
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REVISIONS/ISSUE	
No.	Description
2	Add Storage Rooms, General Revisions
1	Issued for Pricing
DATE PLOT FILE CREATED 21.08.30	
21.04.01	
21.01.26	
Date (y.m.d)	

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BARRY WADE: \_\_\_\_\_ DATE: \_\_\_\_\_



DESIGNER-BUILDER  
776497 ONT LTD  
Barry Wade Group  
(519) 268-2995  
barry@barrywade.ca



PLOT DATE	Aug 30, 2021
SCALE	3/16"=1'-0"
SHEET SIZE	24"x18"
DESIGN	BW
Drawn	RC

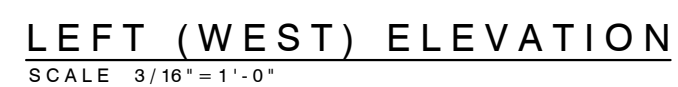
Project  
**HACKING COACH HOUSE**

Address  
**999 BLAIR RD  
CAMBRIDGE, ON**

Drawing Title  
**SECOND FLOOR PLAN**

Project No.  
**2004**

Drawing No.  
**A4**



		<b>DATE</b>	<b>PLOT FILE CREATED</b>
			<b>21.08.30</b>
2	Add Storage Rooms, General Revisions		21.04.01
1	Issued for Pricing		21.01.26
No.	Description		Date (y.m.d)

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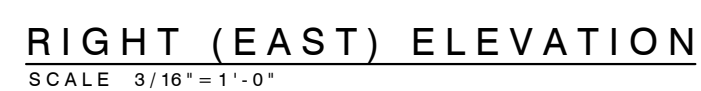
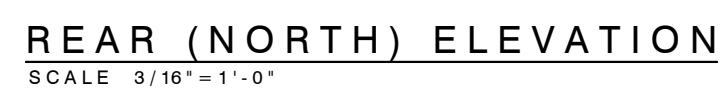
CLIENT: \_\_\_\_\_ DATE: \_\_\_\_\_

BARRY WADE: \_\_\_\_\_ DATE: \_\_\_\_\_

		DESIGNER-BUILDER
776497		ONT LTD
Barry Wade Group		
(519) 268-2995 barry@barrywade.ca		

Project	
<b>HACKING COACH HOUSE</b>	
Address	
<b>999 BLAIR RD CAMBRIDGE, ON</b>	
Drawing Title	
<b>ELEVATIONS</b>	
Project No.	Drawing No.
<b>2004</b>	<b>A5</b>



[illegible]

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CLIENT: \_\_\_\_\_ DATE: \_\_\_\_\_

BARRY WADE: \_\_\_\_\_ DATE: \_\_\_\_\_

		DESIGNER-BUILDER
776497		ONT LTD
Barry Wade Group		
(519) 268-2995 barry@barrywade.ca		

Project	
<b>HACKING COACH HOUSE</b>	
Address	
<b>999 BLAIR RD CAMBRIDGE, ON</b>	
Drawing Title	
<b>ELEVATIONS</b>	
Project No.	Drawing No.
<b>2004</b>	<b>A6</b>

[illegible]

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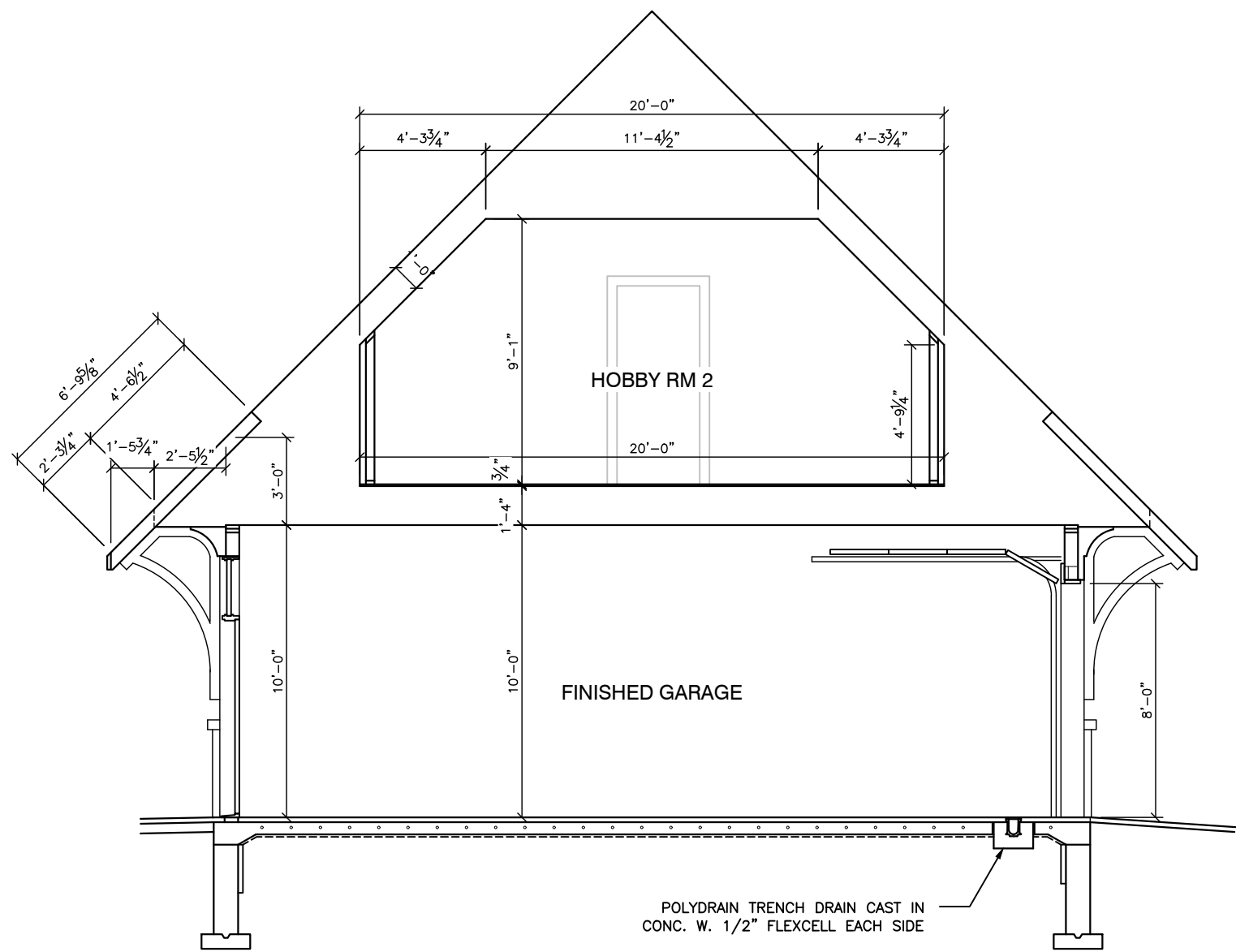
Drawings not to be used for construction unless signed below:

CLIENT: \_\_\_\_\_ DATE: \_\_\_\_\_

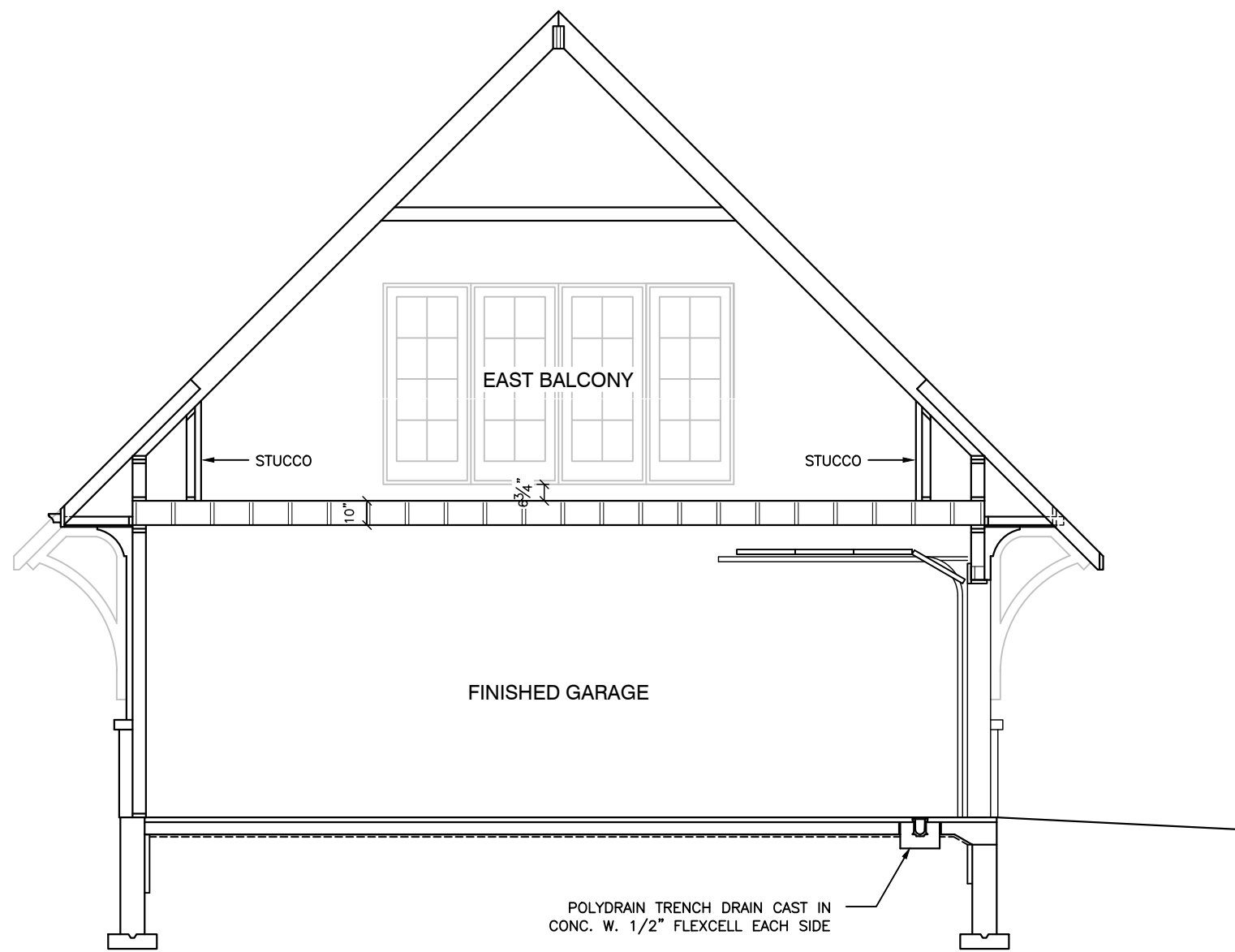
BARRY WADE: \_\_\_\_\_ DATE: \_\_\_\_\_

	DESIGNER-BUILDER
	776497 ONT LTD
	Barry Wade Group
	(519) 268-2995
	barry@barrywade.ca

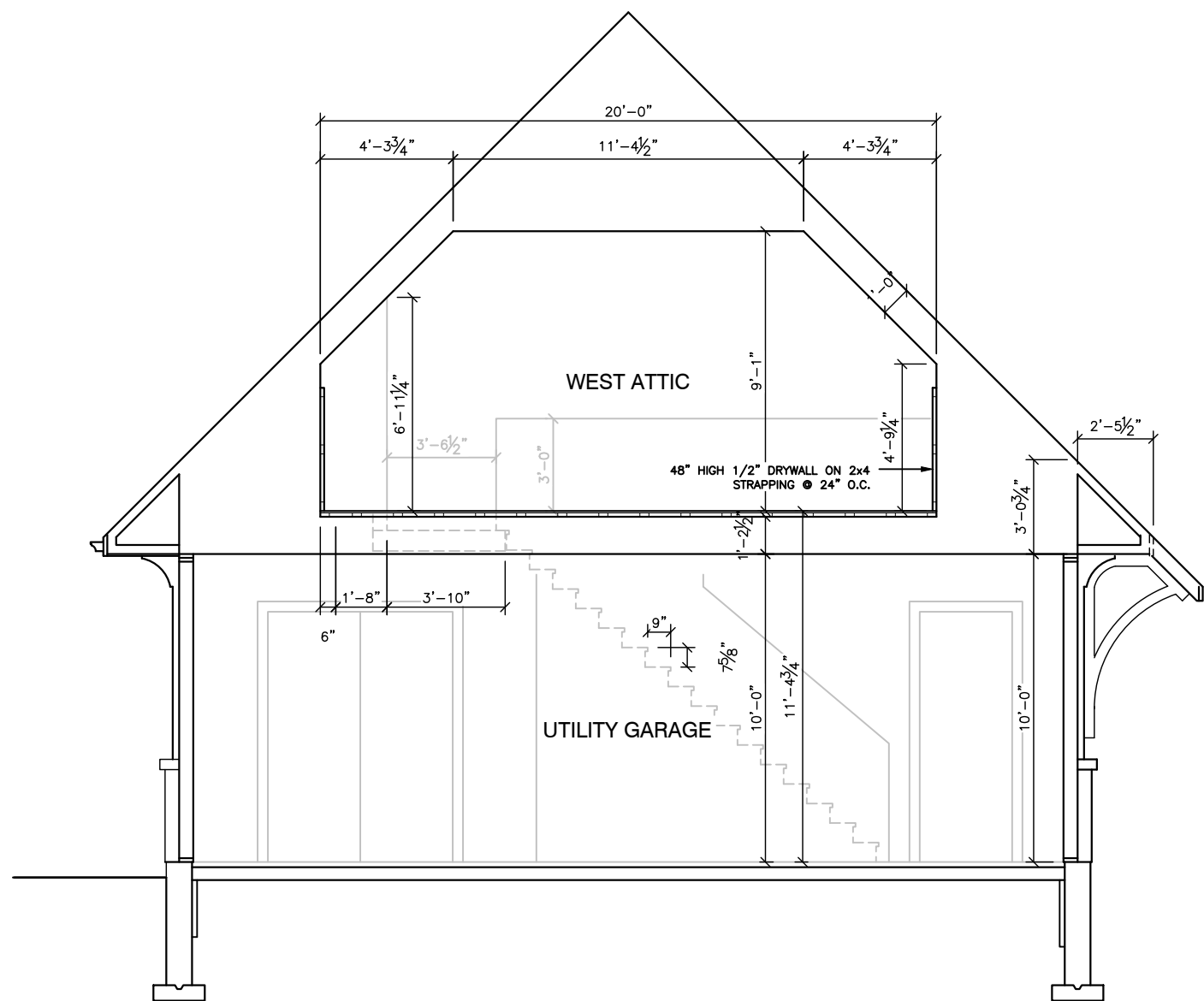
Project	
<b>HACKING COACH HOUSE</b>	
Address	
<b>999 BLAIR RD CAMBRIDGE, ON</b>	
Drawing Title	
<b>SECTIONS</b>	
Project No.	Drawing No.
<b>2004</b>	<b>A7</b>



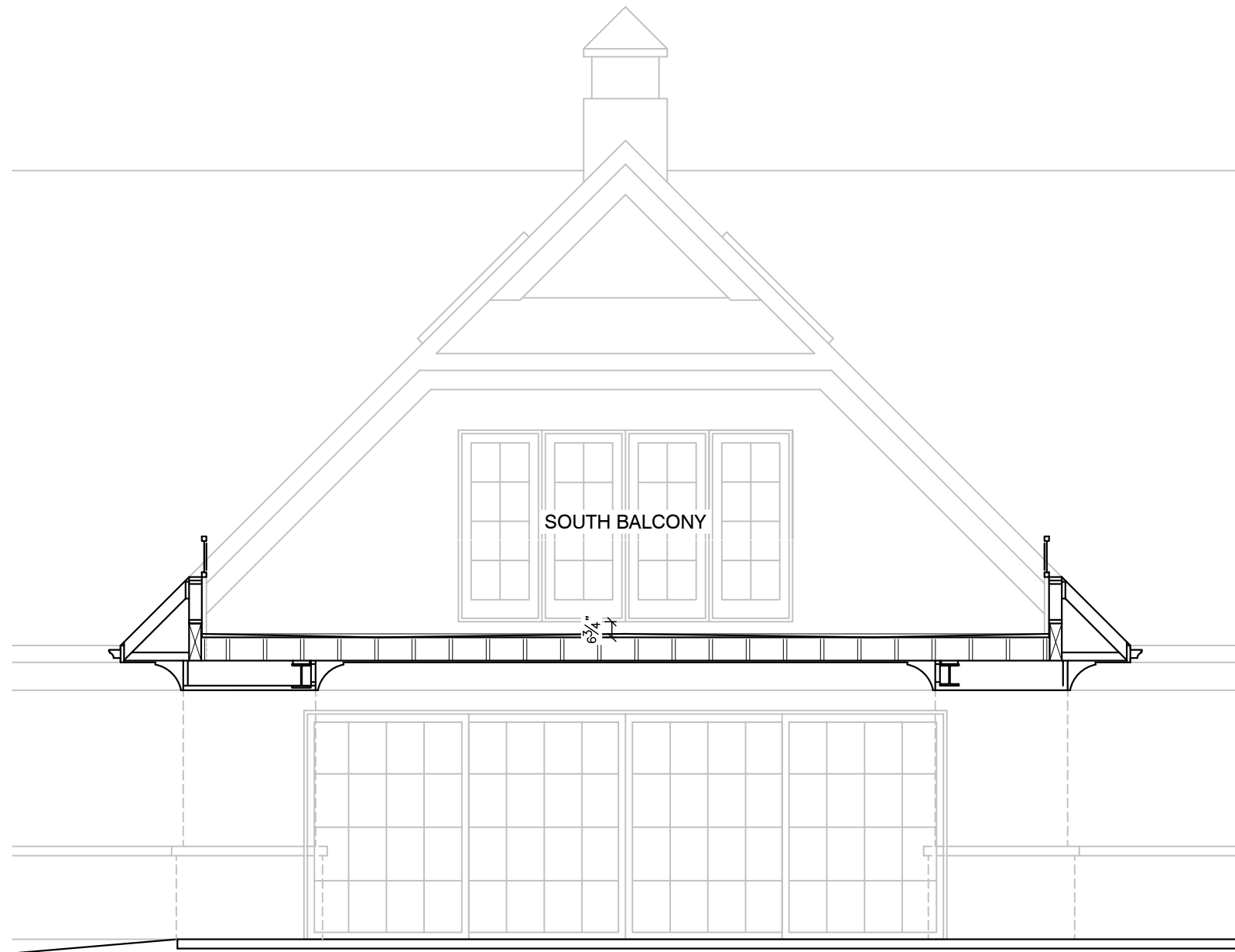
1 BUILDING SECTION  
A8 SCALE 3/16" = 1'-0"



1 BUILDING SECTION  
A8 SCALE 3/16" = 1'-0"



3 BUILDING SECTION  
A8 SCALE 3/16" = 1'-0"



4 BUILDING SECTION  
A8 SCALE 3/16" = 1'-0"

DATE	PLOT	FILE	CREATED
21.08.30			
2	Add Storage Rooms, General Revisions		21.04.01
1	Issued for Pricing		21.01.26
No.	Description		Date (y.m.d)
REVISIONS/ISSUE			

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BARRY WADE: \_\_\_\_\_ DATE: \_\_\_\_\_

DESIGNER-BUILDER	
776497 ONT LTD Barry Wade Group (519) 268-2995 barry@barrywade.ca	
PLOT DATE	Aug 30, 2021
SCALE	3/16"=1'-0"
SHEET SIZE	24"x18"
DESIGN	BW
Drawn	RC

Project	
HACKING COACH HOUSE	
Address	
999 BLAIR RD CAMBRIDGE, ON	
Drawing Title	
SECTIONS	
Project No.	Drawing No.
2004	A8



## ASSEMBLY SCHEDULE

**FW1** TYPICAL GARAGE & PATIO FND WALL CONST.  
20MPa POURED CONCRETE WALL (REFER TO  
PLAN FOR THICKNESSES) C/W 2-15M TOP  
BARS  
2" RIGID INSULATION (TOP 2', INTERIOR SIDE)

 TYPICAL UTILITY GARAGE SLAB  
CONSTRUCTION

5" 32MPa CONCRETE ON  
SAND TAMPED IN 2' LIFTS


 TYPICAL FINISHED GARAGE SLAB  
CONSTRUCTION

FLAGSTONE (ALLOW 2" TOTAL THICKNESS)  
5" 32MPa CONCRETE (DARBY FINISHED) C/W  
6x6;6/6 WWM AND RADIANT TUBING ON  
INSUL TARP  
SAND TAMPED IN 2' LIFTS

 TYPICAL EXTERIOR SLAB CONSTRUCTION

53 FLAGSTONE (ALLOW 2" TOTAL THICKNESS)  
4" 32MPa CONC (DARBY FINISHED) C/W  
6x6;6/6 WWM AND SAWCUTS  
6" GRANULAR A



TYPICAL STONE WALL CONSTRUCTION

W1 3.5" STONE W. TIES  
1" AIR SPACE  
TYVEK AIR BARRIER  
1/2" GLASS-MAT SHEATHING  
2x6 STUDS @ 16" O.C.  
R22 BATT INSULATION  
6 MIL AIR/VAPOUR BARRIER  
1/2" GYPSUM BOARD

 TYPICAL STUCCO WALL CONSTRUCTION

EIFS STUCCO: OUTSULATION PLUS MD  
STUCCO FINISH  
REINFORCING MESH EMBEDDED IN  
BASECOAT  
2" EPS GROOVED INSUL. (R7)  
ADHESIVE (VERT. TROWEL)  
BACKSTOP  
1/2" GLASS—MAT SHEATHING  
2x6 STUDS @ 16" O.C. \*\*\*  
R20 BATT INSULATION  
6 MIL POLY AIR/VAPOUR BARRIER  
1/2" GYPSUM BOARD



TYPICAL PARTITION WALL

1/2" GYPSUM BOARD  
2x6 STUDS @ 16" O.C.  
1/2" GYPSUM BOARD



TYPICAL PARTITION WALL

WS1  
1/2" GYPSUM BOARD  
2x6 STUDS @ 16" O.C.  
R22 BATT INSULATION  
6 MIL POLY AIR/VAPOUR BARRIER  
1/2" GYPSUM BOARD




TYPICAL ATTIC PARTITION WALL

W4 TYVEK AIR BARRIER  
\* 1/2" GYPSUM BOARD  
2x6 STUDS @ 16" O.C.  
R22 BATT INSULATION  
6 MIL AIR/VAPOUR BARRIER  
1/2" GYPSUM BOARD

 TYPICAL ATTIC TRUSS WALL

TRUSS WEB  
TYVEK AIR BARRIER  
7/16" OSB SHEATHING  
2x4 STUDS @ 16" O.C.  
R22 BATT INSULATION  
6 MIL AIR/VAPOUR BARRIER  
1/2" GYPSUM BOARD

\*\*\* WHERE  INDICATED ON DRAWINGS FOR STUD WALLS EXCEEDING 12'0 IN HEIGHT AND LESS THAN 18'4, PROVIDE HORIZONTAL BLOCKING @ 4'0 O.C. AND FASTENING AS PER OBC 9.23.10.1.(2) TABLE.

STUDS EXCEEDING 18'4 IN HEIGHT REQUIRE A P.ENG  
DESIGN.

OBC 9.23.10.1.(2) TALL WALL STUD FASTENING			
COMPONENTS TO BE FASTENED	NAIL QUAN.	NAIL SIZE	SPACING
STUD TO TOP & BOTTOM PLATES	3	3 1/4"	
TOP PLATES (TOGETHER)	1	3"	8" O.C.
ROOF MEMBERS TO TOP PLATES	4	3 1/4"	
BOTTOM PLATE TO FLOOR JOISTS, BLOCKING OR RIM JOISTS	1	3 1/4"	8" O.C.

TYPICAL SECOND FLOOR JOIST  
CONSTRUCTION

F1  
3/4" EDGE GOLD SHEATHING  
WOOD JOIST FRAMING. REFER TO PLANS.

TYPICAL SECOND FLOOR ATTIC TRUSS  
FLOOR CONSTRUCTION

F2  
3/4" EDGE GOLD SHEATHING  
2x4 SLEEPERS @ 16" O.C.  
ATTIC TRUSS FLOOR. REFER TO MANUF.. LAYOUT



TYPICAL BALCONY FLOOR CONSTRUCTION

F3 DEC-TEC MEMBRANE  
3/4" EDGE GOLD SHEATHING  
2x12 FLOOR JOISTS. CUT TOP 1.5"  
TO SLOPE TO FLOOR DRAINS AS PER PLAN.

### TYPICAL ROOF CONSTRUCTION

ANDEX AR-25 STANDING SEAM METAL  
CERTAINTED DIAMOND DECK MEMBRANE  
7/16" OSB SHEATHING W. CLIPS  
REFER TO PLAN FOR FRAMING  
FINISH: REFER TO CEILING ASSEMBLIES

TYPICAL INSULATED CEILING  
CONSTRUCTION WITH ATTIC

C1 WOOD FRAMING. REFER TO PLANS.  
R60 BLOWN INSULATION  
6 MIL POLY AIR/VAPOUR BARRIER  
1/2" CEILING GRADE GYPSUM

TYPICAL INSULATED CEILING  
CONSTRUCTION WITHOUT ATTIC

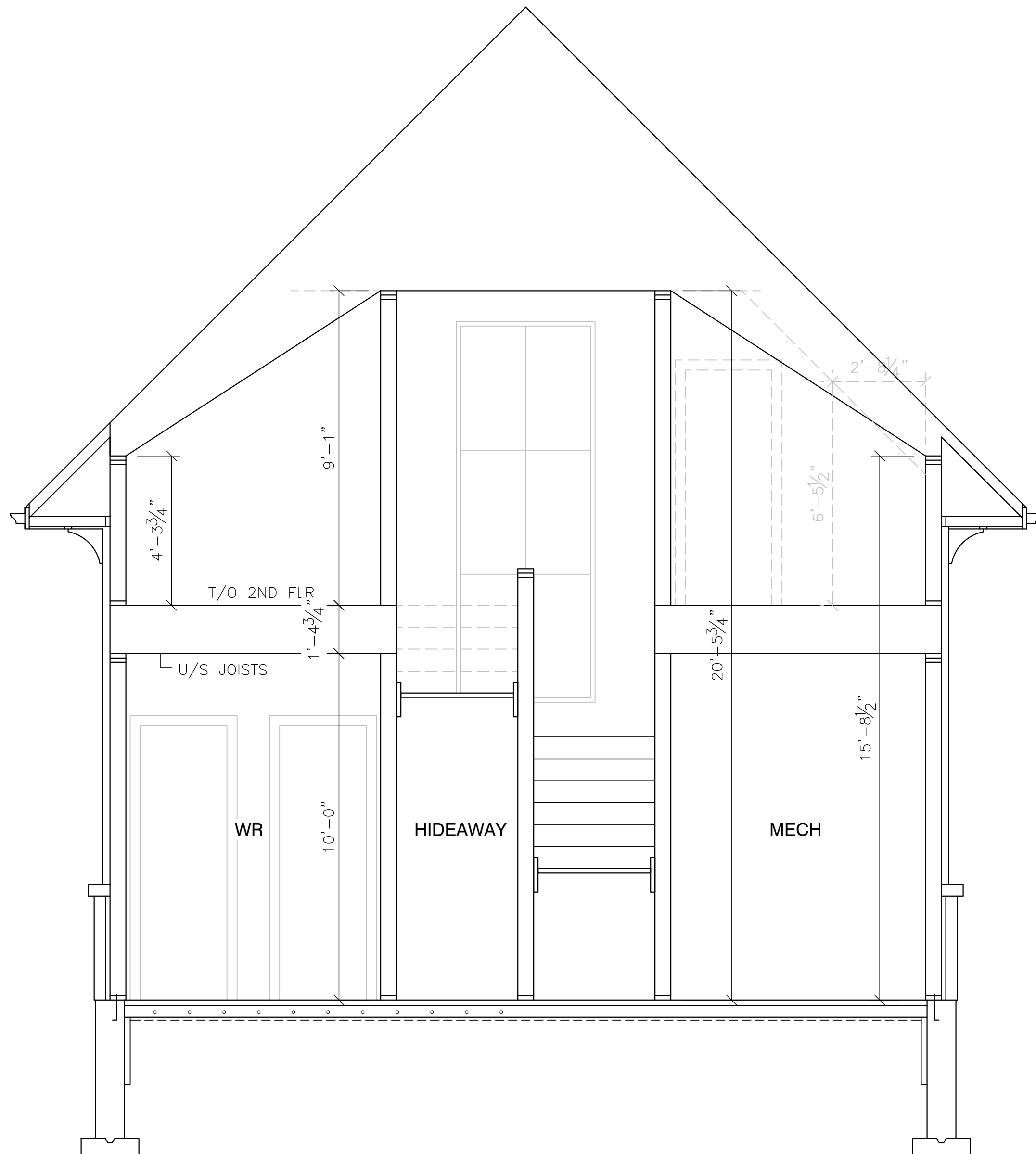
C2 WOOD FRAMING. REFER TO PLANS.  
R31 BATT INSULATION  
6 MIL POLY AIR/VAPOUR BARRIER  
1/2" CEILING GRADE GYPSUM

TYPICAL UNINSULATED INTERIOR CEILING  
CONSTRUCTION

C3 WOOD FRAMING. REFER TO PLANS.  
R31 SPRAYED URETHANE INSULATION  
6 MIL POLY AIR/VAPOUR BARRIER  
1/2" CEILING GRADE GYPSUM

TYPICAL PORCH/BALCONY CEILING  
CONSTRUCTION

C4 WOOD FRAMING. REFER TO PLANS.  
1x3 STRAPPING @ 16" O.C.  
NANTUCKET VINYL SOFFIT



# BUILDING SECTION

[illegible]

--

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BARRY WADE: \_\_\_\_\_ DATE: \_\_\_\_\_

Handwritten signature: *[Signature]*

776497 ONT LTD  
Barry Wade Group  
(519) 268-2995  
barry@barrywade.ca

Project	
<b>HACKING COACH HOUSE</b>	
Address	
<b>999 BLAIR RD CAMBRIDGE, ON</b>	
Drawing Title	
<b>SECTIONS</b>	
Project No.	Drawing No.
<b>2004</b>	<b>A9</b>