

**To:** COUNCIL

**Meeting Date:** 1/18/22

**Subject:** Request to Alter a Part IV Designated Property, 126 Blair Road

**Submitted By:** Lisa Prime, RPP MCIP, Chief Planner

**Prepared By:** Abraham Plunkett-Latimer, Senior Planner - Heritage

**Report No.:** 22-006 (CD)

**File No.:** R01.01.54

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## Recommendations

**THAT** Report 22-006 (CD) - Request to Alter a Part IV Designated Property, 126 Blair Road - be received;

**AND FURTHER THAT** Council approve the request to alter the main structure on the designated property municipally known as 126 Blair Road by building a rear deck as outlined in Report 22-006 (CD).

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## Executive Summary

### Purpose

- Council approval is required to permit the alteration of a building or structure on Part IV designated property. The owner has requested permission to construct a rear deck.

### Key Findings

- The property municipally known as 126 Blair Road was designated under the Ontario Heritage Act by City of Cambridge By-law 84-87.
- The property includes a one-and-a-half storey structure that was designated because it is a well-preserved and representative example of a Queen Anne style residence in Cambridge.
- The residence previously included an unsympathetic rear deck that was removed in the 1980s.
- The current owner wishes to construct a new rear deck.

- Council approval is required to alter a Part IV Designated property.
- The proposed deck is not anticipated to detract from the cultural heritage value or interest of the subject property.

## Financial Implications

All costs are the responsibility of the applicant.

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## Background

The subject property was designated under Part IV of the Ontario Heritage Act in 1987 by City of Cambridge by-law 84-87. The subject property contains a one-and-a-half storey wood framed residence in the Queen Anne Style constructed in approximately 1885 by William Scott. The structure is notable for its well-preserved multicoloured sash windows, decorative front door, range of cladding material textures, off-centre front porch with decorative spindle work, and second storey balconies with decorative millwork.



Figure 1: 126 Blair Road, south-west (front) elevation, August 2021.



Figure 2: 126 Blair Road, north east (rear) elevation, August 2021.

The owner submitted a request on October 11, 2021 to alter the property by constructing a rear deck to replace a deck that was removed in the 1980s.

The deck is proposed to be constructed of wood with 28-inch concrete footings. The dimensions are proposed to be 8.23 metres (27 feet) in length by 5.18 metres (17 feet) depth by 3.96 metres (13 feet) in height. It is proposed to be simple and modern in form with a railing characterized by square balusters and spindles and will be supported by diagonal bracing. It will be accessed via an exterior staircase and by an existing second-storey balcony door (**Figure 3**). Beneath the deck the owner is proposing to construct a concrete patio (**Appendix A**).

The deck is proposed to be largely freestanding. It will be affixed to the existing structure with 19mm ( $\frac{3}{4}$  inch) bolts.

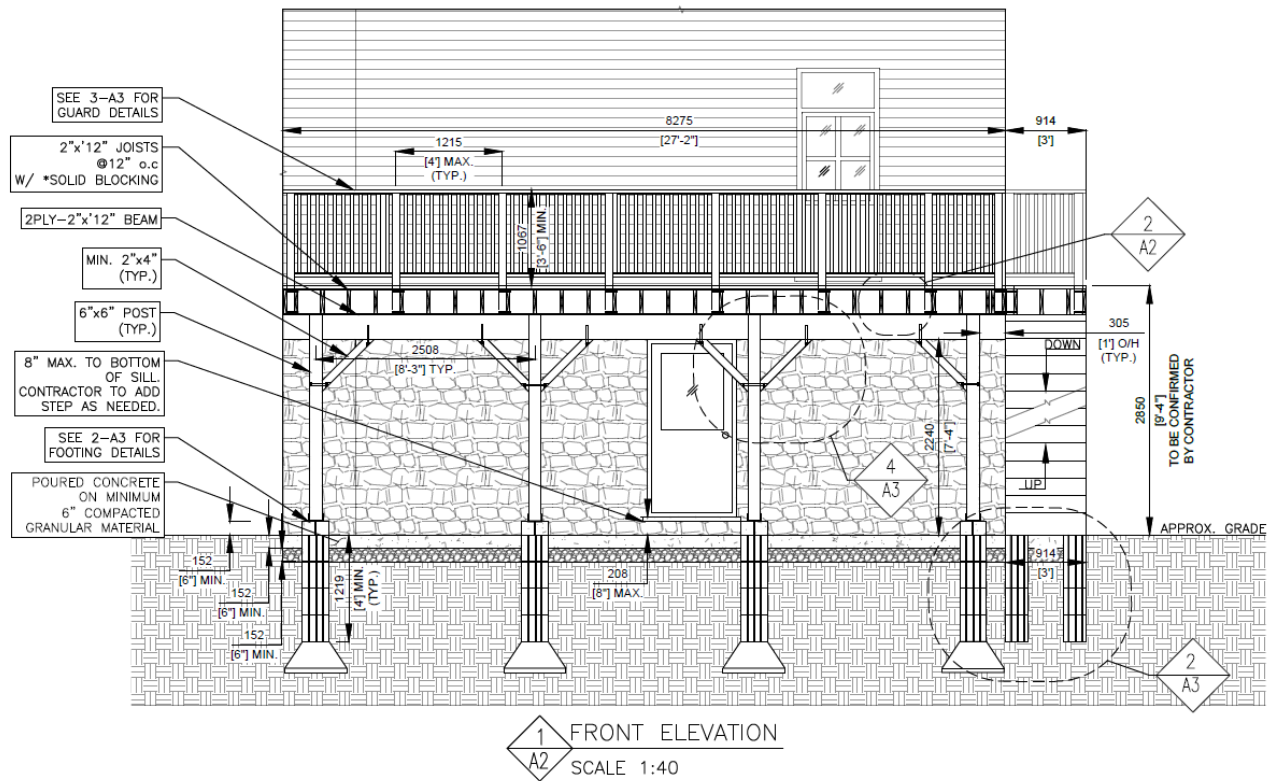


Figure 3: Proposed deck north east (rear) elevation.

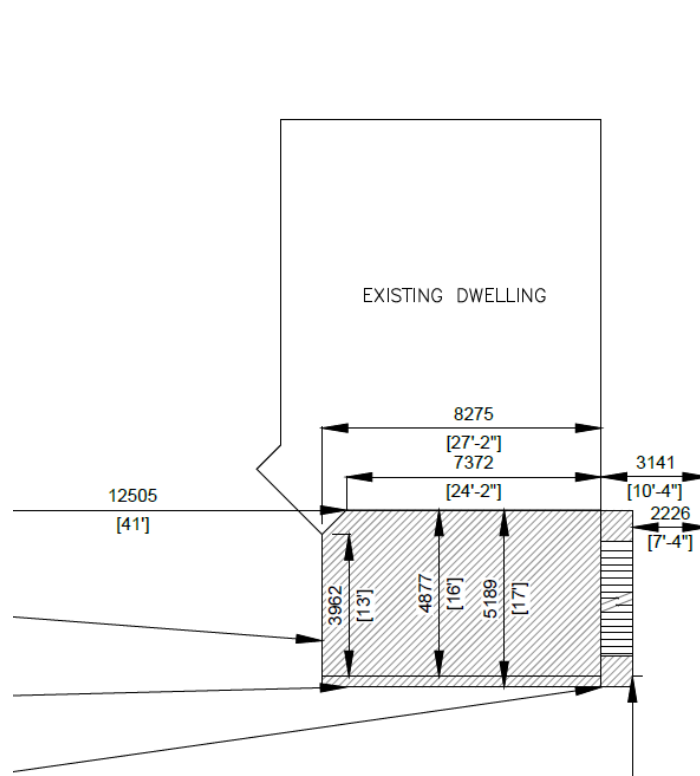


Figure 4: Proposed location of deck and existing structure.

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## Analysis

### Strategic Alignment

PLACE: To take care of, celebrate and share the great features in Cambridge that we love and mean the most to us.

Goal #1 - Community Wellbeing

Objective 3.2 Conserve and make positive contributions to our heritage districts and buildings throughout the community.

Although the proposed deck is modern in construction, it does not detract from the cultural heritage value of the existing dwelling and serves to restore function to the existing second-storey balcony door.

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## Comments

The owner wishes to construct a deck at the rear of the structure to restore function to the existing door and improve the livability of the residence.

City of Cambridge records indicate that there was previously a similar deck in the location of the proposed deck. This deck was considered to be a later addition to the property and was removed in the 1980s. There is currently a second-storey door opening on the rear façade, suggesting that there was originally a deck or balcony in that location.

The Standards and Guidelines for the Conservation of Historic Places in Canada outlines standards for new additions to heritage structures.

Standard 11 states that new work should be “physically and visually compatible with, subordinate to, and distinguishable from the historic place.”

The proposed deck is compatible in terms of materials with the existing wood-framed structure given that it is proposed to be constructed of wood. It is subordinate to the existing structure in that it is located at the rear of the structure and is not visible from the street. It is distinguishable from the existing structure by the use of a simple, modern design that does not seek to replicate nineteenth-century features.

The proposed design does not require the alteration or removal of existing heritage attributes nor does it obscure heritage attributes. The design is such that it could be removed in future without impacting the heritage structure. It is not anticipated that the proposed alteration would have any permanent negative impacts upon the existing structure’s cultural heritage value or interest.

The proposed alteration will, moreover, restore function to the currently non-functional second-storey door which previously opened onto a deck or balcony.

For the above reasons, staff recommend that Council approve the proposed alteration to the property. If Council does not approve the proposed alteration, or approves with conditions, the applicant has the option to appeal the decision to the Ontario Land Tribunal.

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## Existing Policy/By-Law

### Ontario Heritage Act

Section 33 of the Ontario Heritage Act identifies the process for altering a Part IV designated property. It states:

**33** (1) No owner of property designated under section 29 shall alter the property or permit the alteration of the property if the alteration is likely to affect the property's heritage attributes, as set out in the description of the property's heritage attributes that was required to be served and registered under subsection 29 (6) or (14), as the case may be, unless the owner applies to the council of the municipality in which the property is situate and receives consent in writing to the alteration. 2002, c. 18, Sched. F, s. 2 (16); 2005, c. 6, s. 21 (1).

### City of Cambridge Official Plan (2018)

Section 4.6 of the City of Cambridge Official Plan states that;

The City will regulate as fully as possible the demolition, removal or inappropriate alteration of buildings of cultural heritage value or interest included in the Register of Cultural Heritage Resources referred to in Section 4.3.

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## Financial Impact

All costs are the responsibility of the property owner.

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## Public Input

Posted publicly as part of the report process.

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## Internal/External Consultation

Heritage staff consulted with the owner of the property and municipal building officials.

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## Conclusion

The proposed rear deck is compatible with the existing structure through its use of wood as a construction material, and because it is subordinate to, and distinct from the existing structure.

Construction of the rear deck would have minimal impacts upon the heritage character of the property because it is located at the rear, does not require alteration or removal of any portion of the existing structure and is not visible from the street.

The proposed alteration would also restore function to the existing second-storey balcony door. Restoring function to an existing component of the structure is considered a positive heritage outcome.

Based upon the above analysis, staff recommends that Council approve the request to alter the property municipally known as 126 Blair Road by constructing a rear deck as outlined in this report.

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## Signature

### Division Approval



**Name: Lisa Prime**

**Title: Chief Planner MCIP, RPP**

Reviewed by the CFO

Reviewed by Legal Services

### Departmental Approval

**Name: Hardy Bromberg**

**Title: Deputy City Manager, Community Development**

### City Manager Approval



**Name: Hardy Bromberg**

**Title: Acting City Manager**

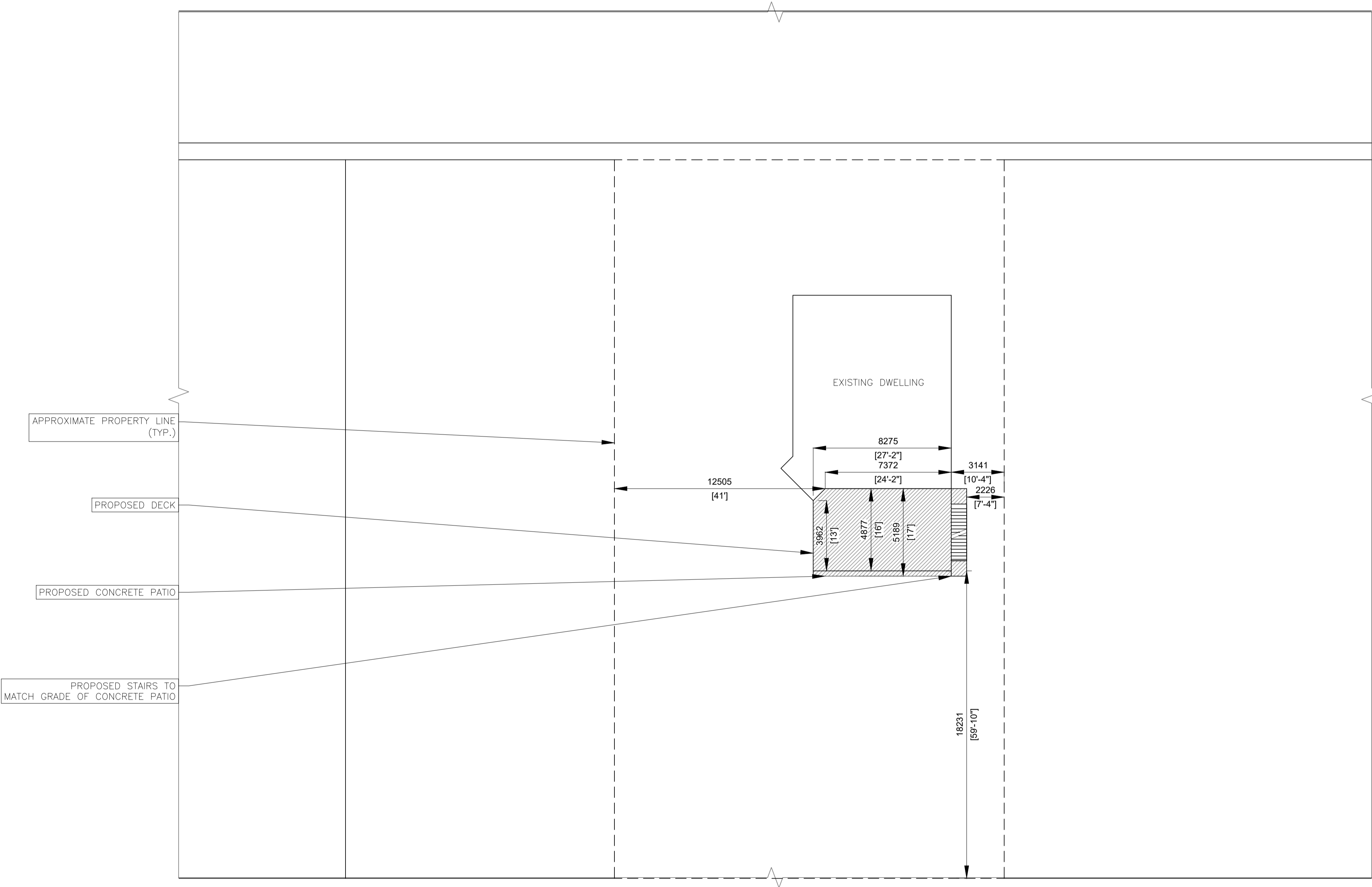
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## Attachment

- Appendix A: Structural Drawings, Centex Engineers, September 29, 2021

126 BLAIR ROAD  
CAMBRIDGE, ON N1S 2J4  
DECK AND CONCRETE PATIO

Appendix A



1 SITE PLAN  
A0 SCALE 1:150

NOTES

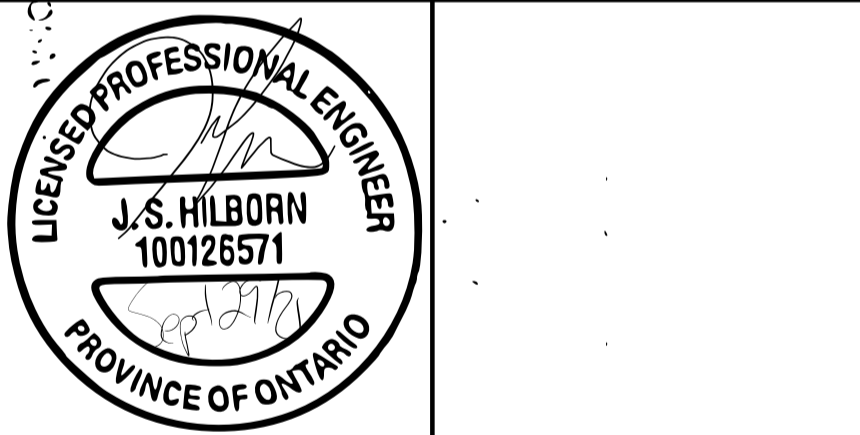
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1. ALL DIMENSIONS IN mm UNLESS OTHERWISE SPECIFIED.
  2. CONTRACTOR TO CONFIRM LAYOUT PRIOR TO CONSTRUCTION.
  3. DIMENSIONS AS SHOWN ON THE DRAWINGS. CONTRACTOR TO CONFIRM ALL DIMENSIONS PRIOR TO CONSTRUCTION.
  4. CONSTRUCTION PRACTICES TO MEET ALL OBC REQUIREMENTS.
  5. THESE DRAWINGS HAVE BEEN REVIEWED WITH RESPECT TO STRUCTURAL REQUIREMENTS ONLY. NON-STRUCTURAL DETAILS TO BE CONFIRMED BY OTHERS.
  6. ALL MATERIALS TO BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS.
  7. ALL LUMBER TO BE FREE OF DEFECTS AND DAMAGE.
  8. ALL LUMBER TO BE INSTALLED LEVEL AND PLUMB.
  9. ALL LUMBER TO BE NAILED AS PER OBC 9.23.8.3: INDIVIDUAL MEMBERS SHALL BE NAILED TOGETHER WITH A DOUBLE ROW OF NAILS NOT LESS THAN 89mm IN LENGTH, SPACED NOT MORE THAN 450mm APART IN EACH ROW WITH THE END NAILS LOCATED 100mm TO 150mm FROM THE END OF EACH PIECE.
  10. MIN. EMBEDMENT DEPTH FOR CONSTRUCTION TUBES TO BE 4".
  11. MAX. OVERHANG TO BE 12".

- DESIGN NOTES:
1. STRUCTURAL DESIGN COMPLETED IN ACCORDANCE WITH:  
ONTARIO BUILDING CODE 2012;  
O.REG. 213/91 - OCCUPATIONAL HEALTH AND SAFETY ACT FOR CONSTRUCTION PROJECTS.

2. DESIGN LOADS:
- CLIMATIC DESIGN DATE (CAMBRIDGE)
- 50 YEAR SNOW LOAD  $S_s = 1.60\text{kPa}$
- 50 YEAR RAIN LOAD  $S_r = 0.40\text{kPa}$
- WIND PRESSURE  $q(w) = 0.36\text{kPa}$
- DEAD LOAD - 0.70 kPa;
- LIVE LOAD - 1.90 kPa.
- MIN. BEARING CAPACITY OF SOIL = 75kPa

- MATERIALS:
- P.T LUMBER SPF #2 OR BETTER;
- 1/2", 3/4" THROUGH BOLTS;
- 20 MPa CONCRETE OR BETTER;
- 10M REBAR AND 10M TIES;
- 6"x6" WIRE WELDED MESH;
- 10", 12" CONSTRUCTION TUBE;
- BF28 BIGFOOT FOOTING;
- SIMPSON STRONG TIE CARPORT SADDLE OR EQUIVALENT;
- UPLIFT: [210 LBS.] ALLOWABLE LOAD.
- LATERAL F1: [570 LBS.] ALLOWABLE LOAD.
- LATERAL F2: [960 LBS.] ALLOWABLE LOAD.
- SIMPSON STRONG HUS28 FACE MOUNT JOIST HANGER OR EQUIVALENT;
- UPLIFT: [1820 LBS.] ALLOWABLE LOAD.
- FLOOR: [3145 LBS.] ALLOWABLE LOAD.
- SNOW: [3720 LBS.] ALLOWABLE LOAD

0.	09.29.2021	ISSUED FOR PERMIT
No.	DATE	REVISION



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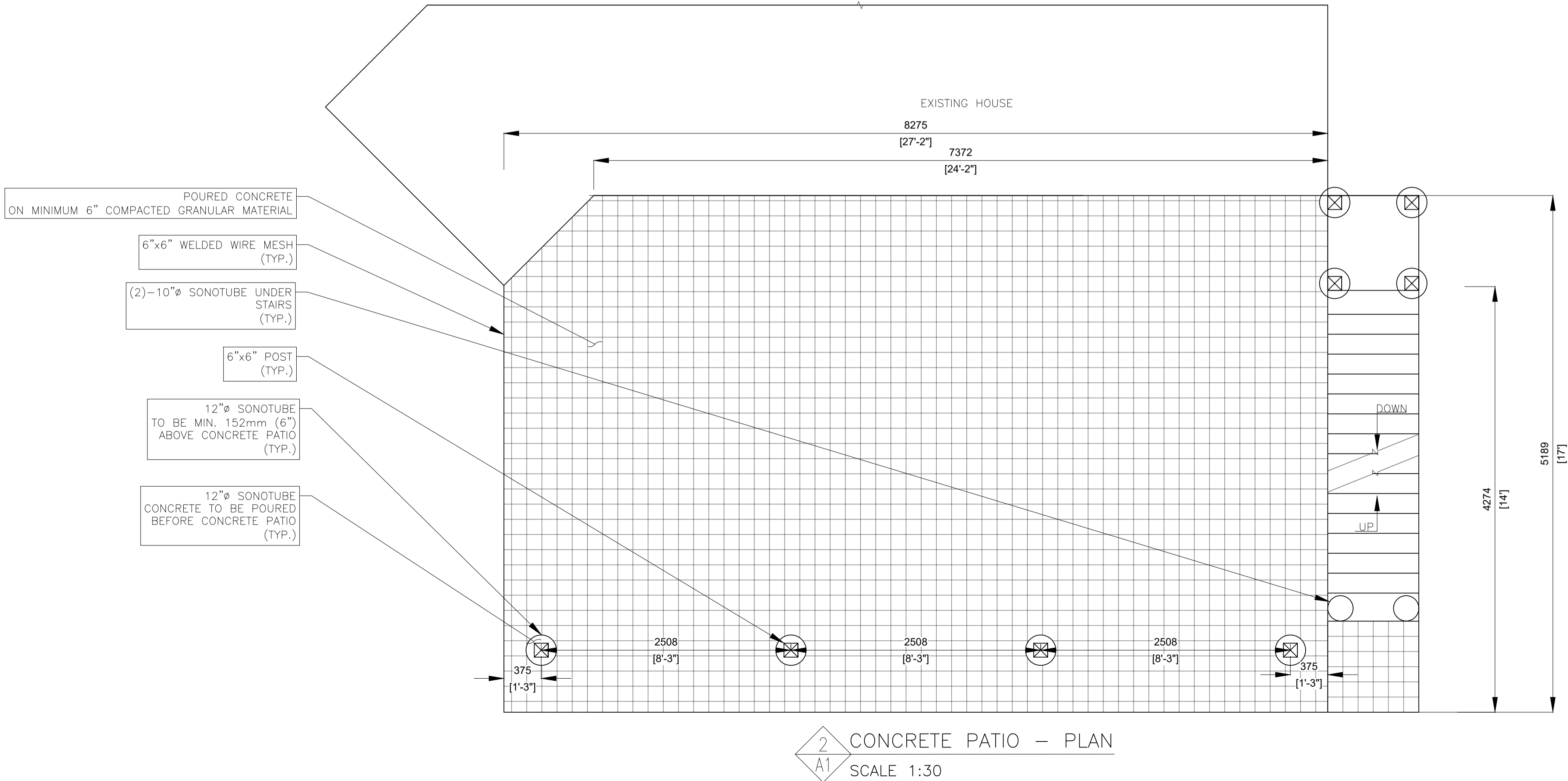
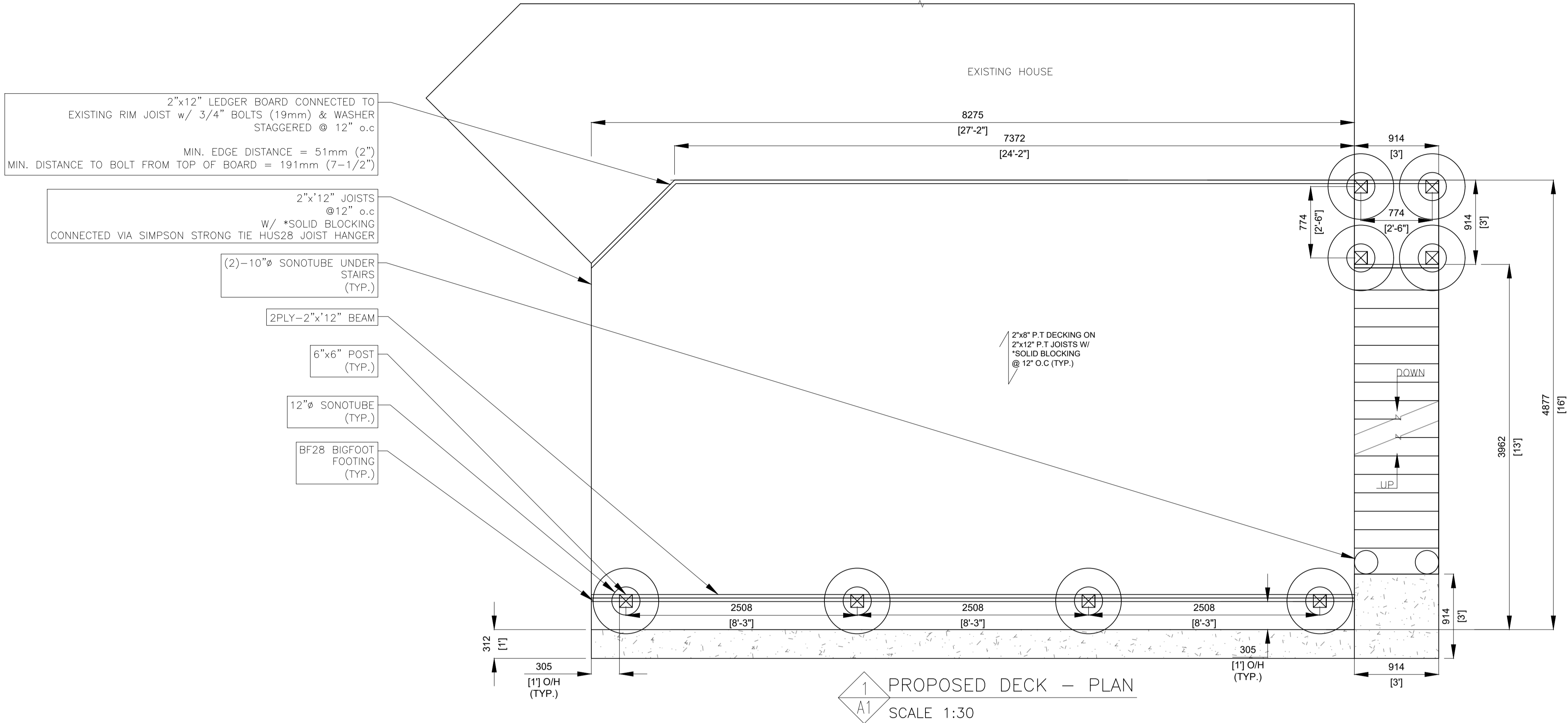
126 BLAIR ROAD,  
CAMBRIDGE ON N1S 2J4

DECK AND CONCRETE PATIO

DRAWN BY	KD	SHEET
DESIGNED BY	KD	A0
CHECKED BY	JH	
PROJECT NUMBER	0541	
DATE	09.29.2021	
SCALE	1:150	

# DECK AND CONCRETE PATIO PLAN

\*NOTE: MAXIMUM SPAN  
BETWEEN 2"x12" SOLID BLOCKING  
TO BE 2.083m (6'-10")



## NOTES

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WIND PRESSURE  $q(w) = 0.36\text{kPa}$

DEAD LOAD - 0.70 kPa;

LIVE LOAD - 1.90 kPa;

MIN. BEARING CAPACITY OF SOIL = 75kPa

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10M REBAR AND 10M TIES;

6"x6" WIRE WELDED MESH;

10"Ø, 12"Ø CONSTRUCTION TUBE;

BF28 BIGFOOT FOOTING;

SIMPSON STRONG TIE CARPORT SADDLE OR

EQUIVALENT;

UPLIFT: [210 LBS.] ALLOWABLE LOAD.

LATERAL F1: [570 LBS.] ALLOWABLE LOAD.

LATERAL F2: [960 LBS.] ALLOWABLE LOAD.

SIMPSON STRONG TIE HUS28 FACE MOUNT JOIST HANGER

OR EQUIVALENT;

UPLIFT: [1820 LBS.] ALLOWABLE LOAD.

FLOOR: [3145 LBS.] ALLOWABLE LOAD.

SNOW: [3720 LBS.] ALLOWABLE LOAD

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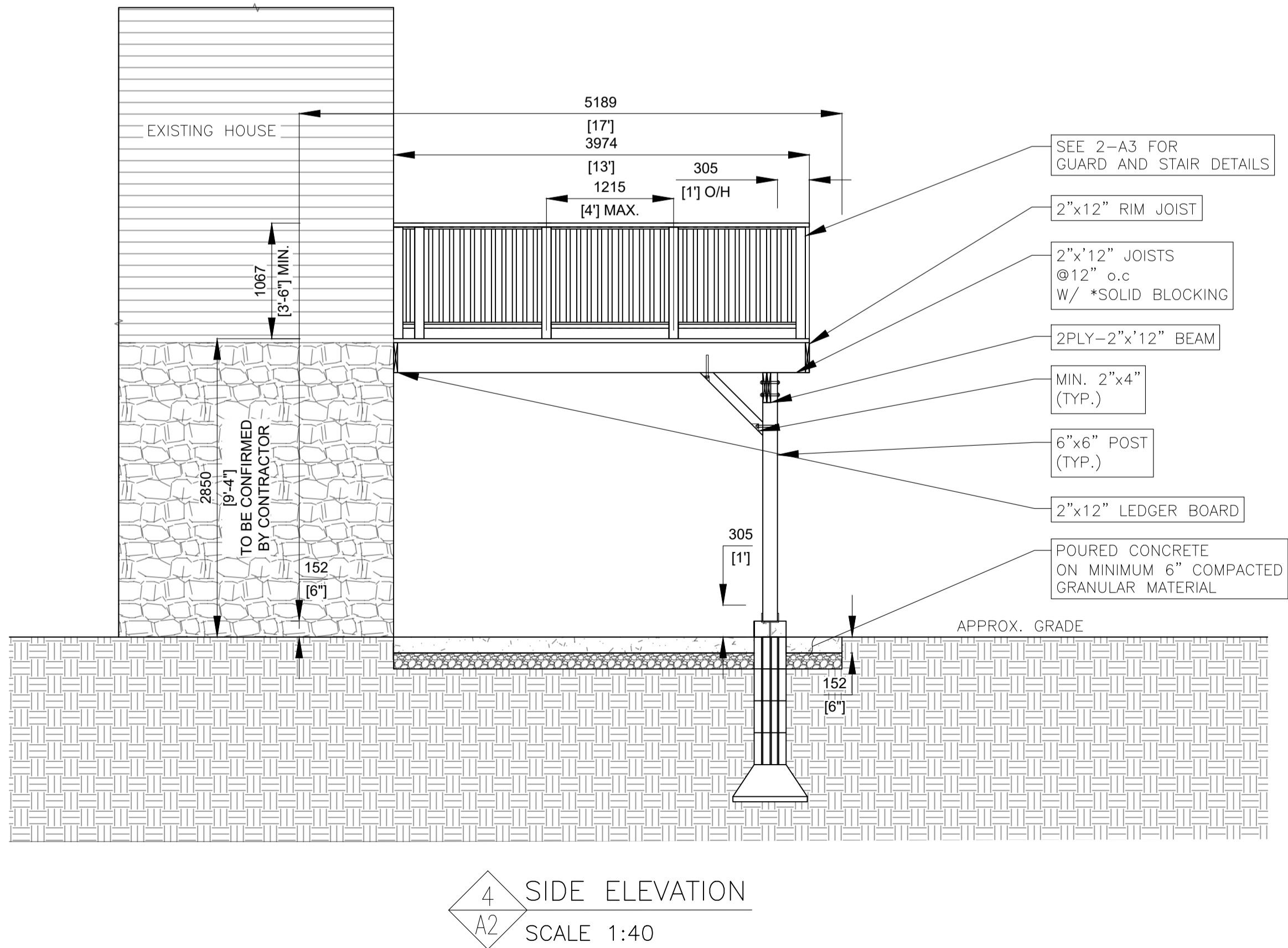
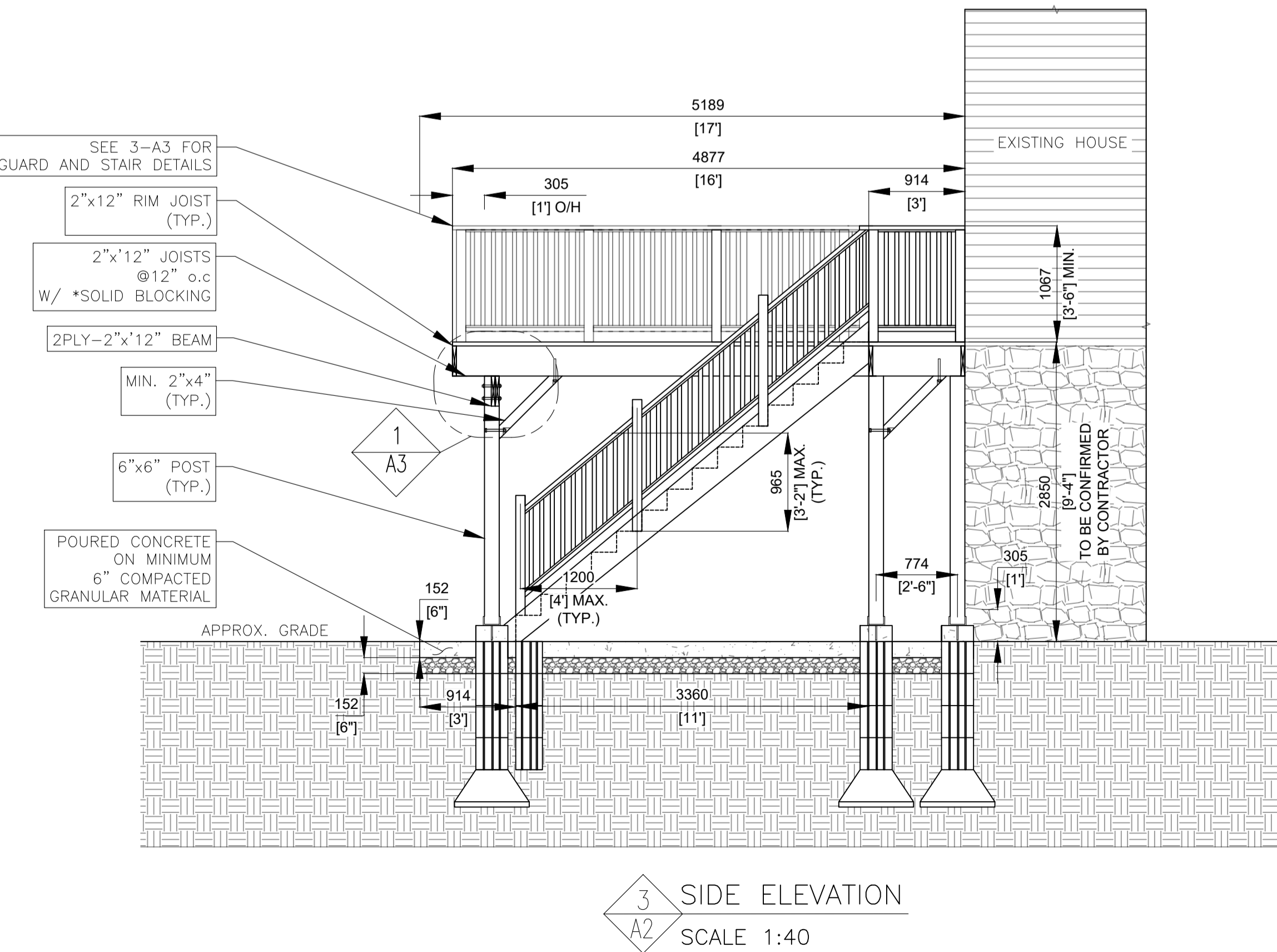
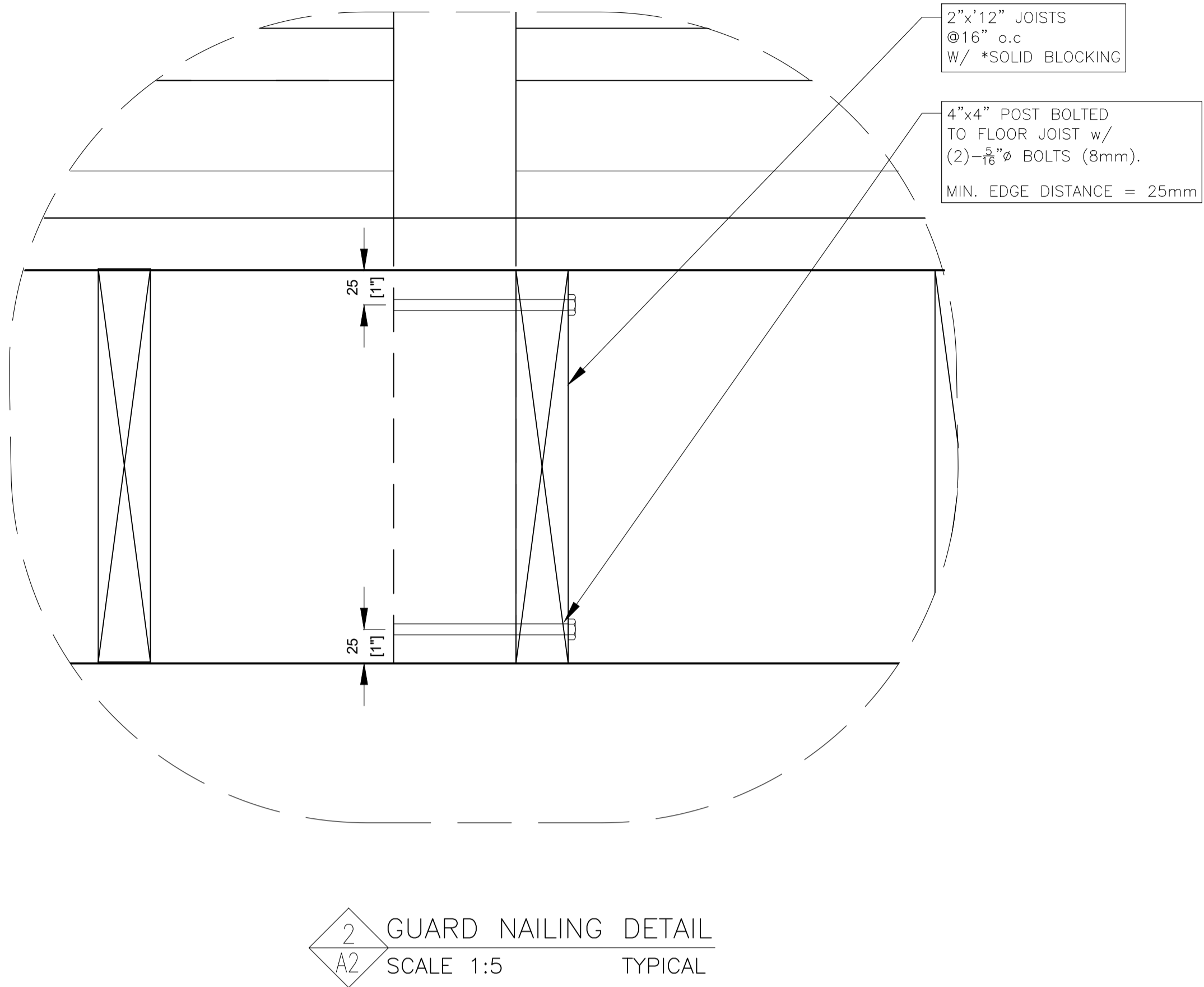
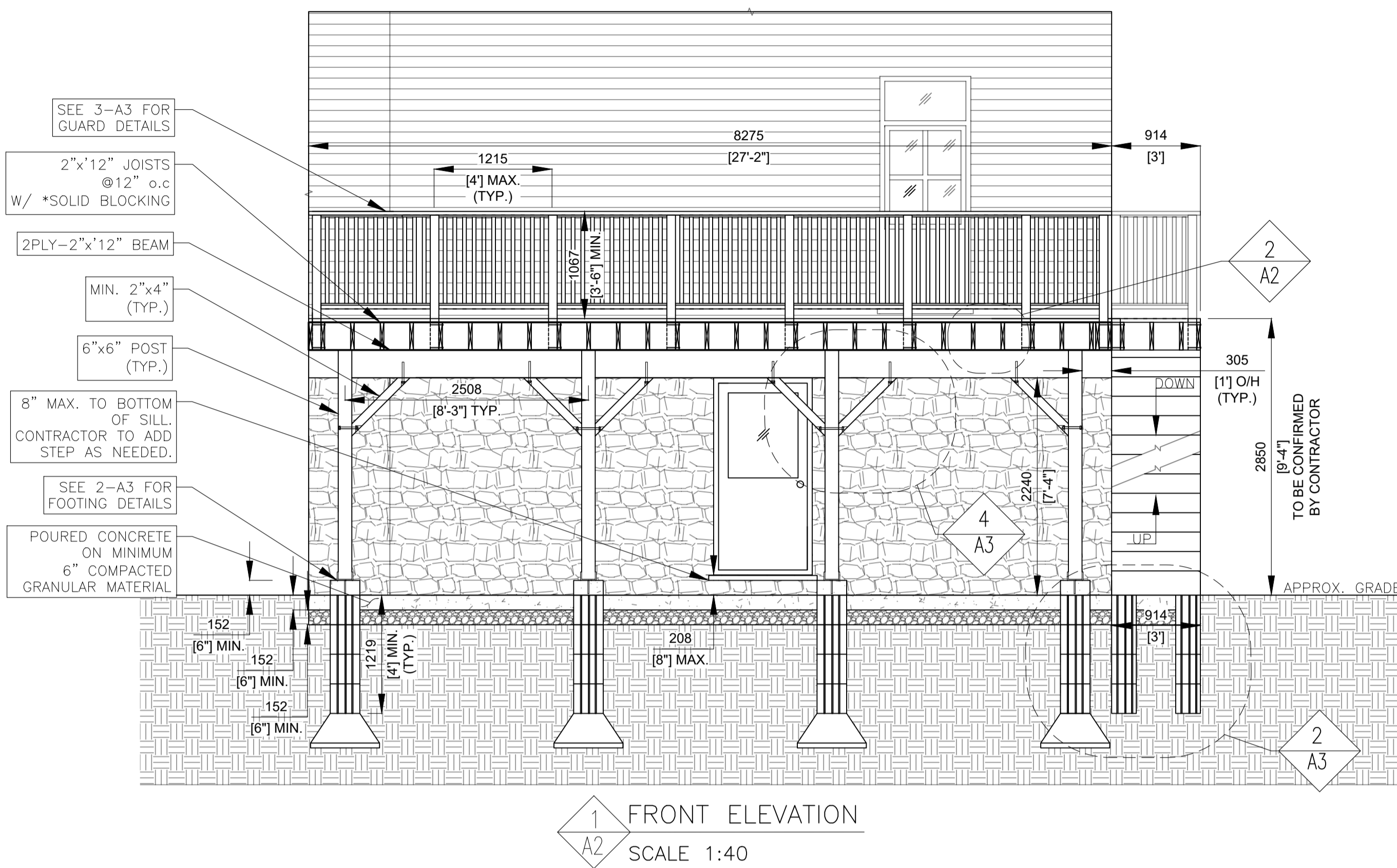
LYNN WELLER

126 BLAIR ROAD,  
CAMBRIDGE ON N1S 2J4

DECK AND CONCRETE PATIO

DRAWN BY	KD	SHEET
DESIGNED BY	KD	A1
CHECKED BY	JH	
PROJECT NUMBER	0541	
DATE	09.29.2021	
SCALE	1:30	

# ELEVATIONS



## NOTES

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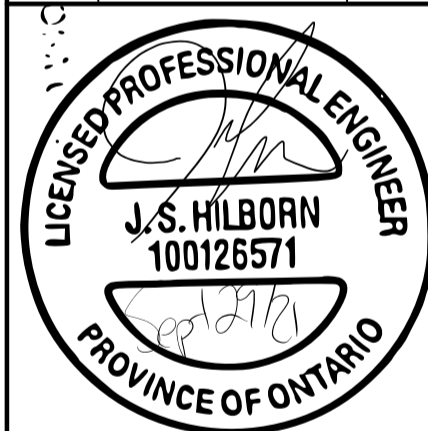
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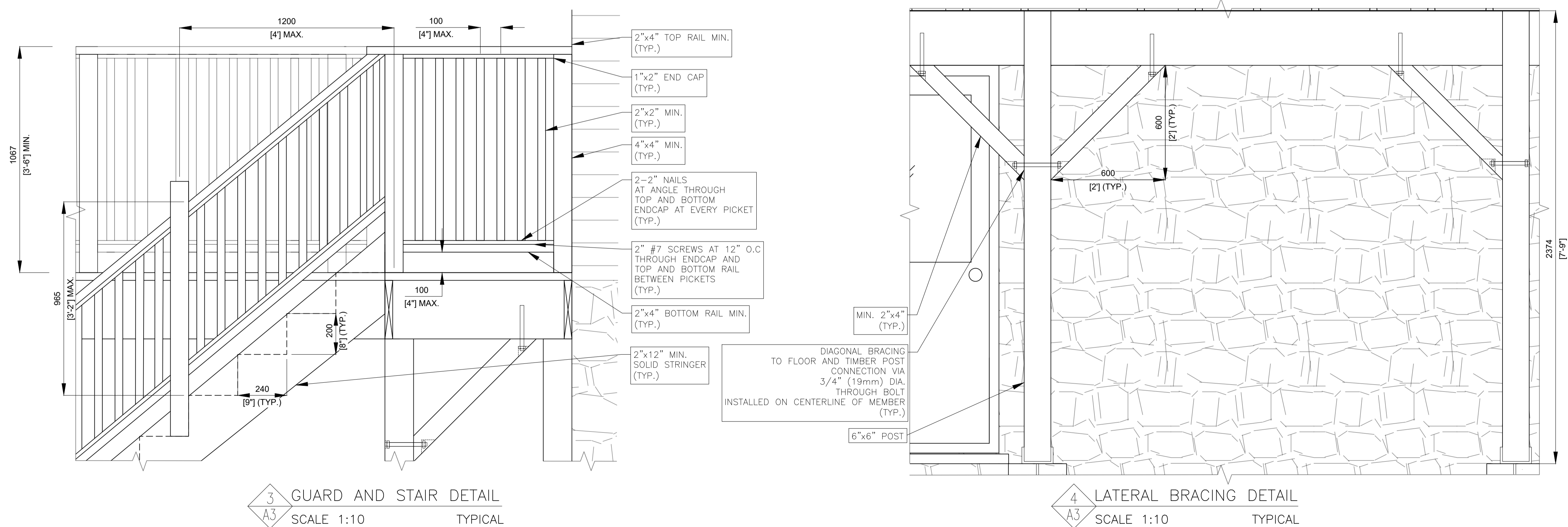
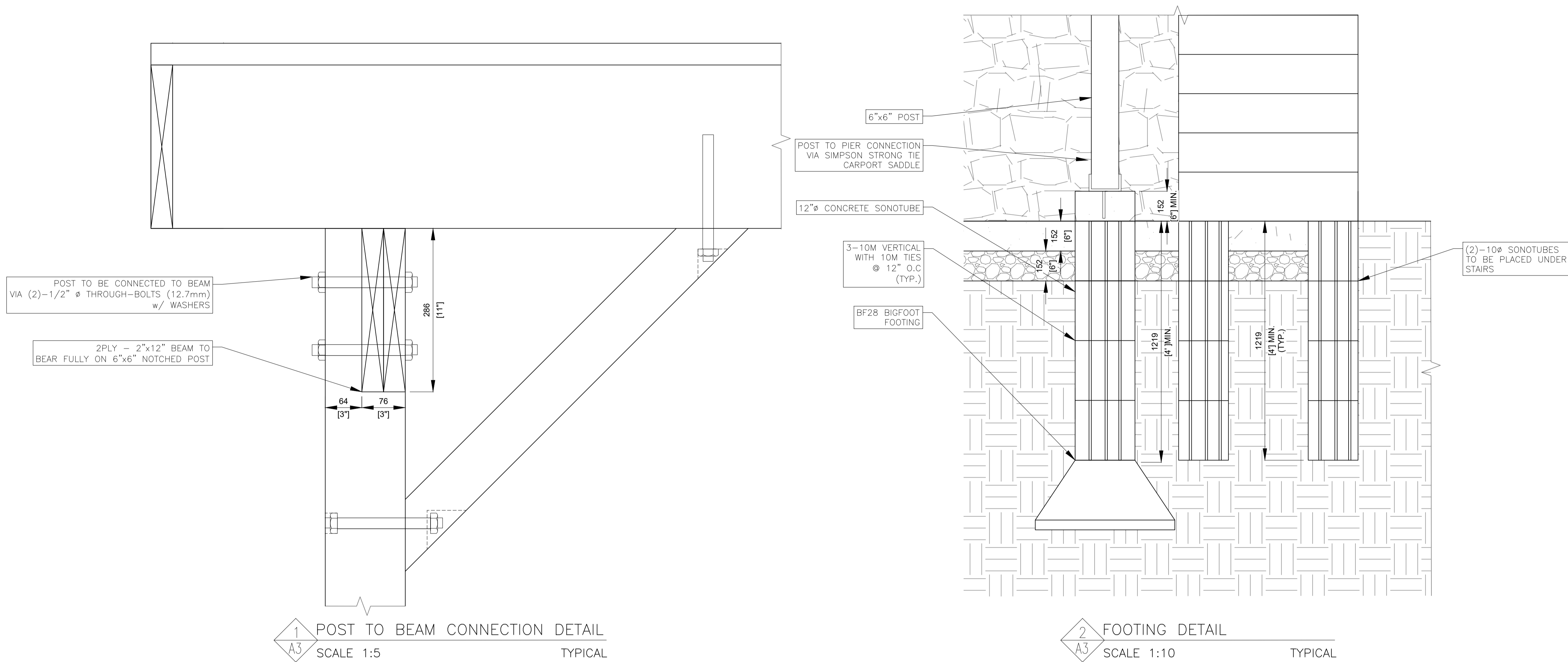
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SCALE	AS NOTED	

A2

# DETAILS



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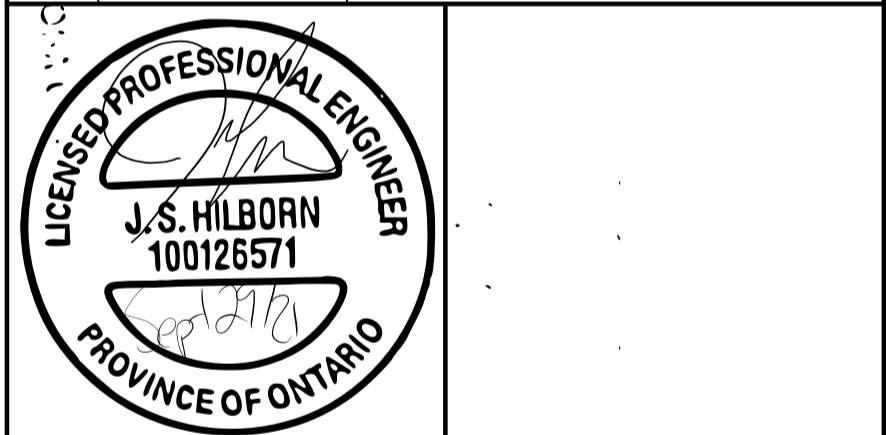
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**A3**