

1 SITE PLAN
L2

SCALE: 1:150

NOTE:
BASE DRAWING COURTESY OF POLOCORP

LOT 7

99.3 m

6.7 m

55.9 m

MINIMUM 0.6 m
REAR YARD SETBACK

PROPOSED 2.1 m TALL BOARD
ON BOARD CEDAR PRIVACY
FENCE WITH 6" x 6" POSTS

PROPOSED
CABANA

2-STORY
GARAGE

EXISTING
GARAGE

15.8 m

11.0 m

8.1 m

8.4 m

16.0 m

18.9 m

50.5 m

60.9 m

78.1 m

7.3 m

3.4 m

EXISTING
3-STORY
BUILDING
171 GUELPH AVE.

SUN ROOM

PORCH

DOLPHIN COZUMEL POOL
14' x 30' x 6'

INTERLOCK PATIO

INTERLOCK WALKWAY

PROPOSED DRIVEWAY

PROPOSED 1.5 m x 1.5 m
BASEMENT EXTENSION WITH
OPEN AIR PORCH.

LOT 8
4428.8 sq m

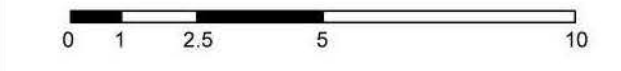
GUELPH AVENUE

PROPOSED 2.1 m TALL BOARD
ON BOARD CEDAR PRIVACY
FENCE WITH 6" x 6" POSTS

PROPOSED 1.5 m WROUGHT
IRON FENCE WITH STONE COLUMNS
AND ACCESS GATES (SEE DETAILS).

PROPOSED 1.5 m WROUGHT
IRON FENCE

BLOCK 9
LANDS TO BE
CONVEYED TO
ADJACENT OWNER
0.004 ha.



HORTICULTURAL TRADES ASSOCIATION
landscape nova scotia.ca
Green for Life!

BRYDGES
LANDSCAPE
ARCHITECTURE INC.
35 GALT STREET,
GUELPH, ON, N1H 3G5
519 766 1331

NO.	REVISION/ISSUE	DATE
3.	AS PER CITY COMMENTS	09.05.24
2.	ADD SITE PLAN	08.19.24
1.	AS PER CITY COMMENT	07.30.24

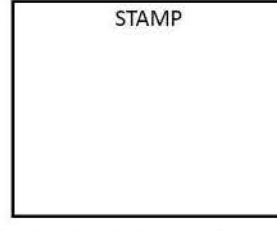
FIRM NAME AND ADDRESS
BRYDGES LANDSCAPE ARCHITECTURE INC.
35 GALT STREET, GUELPH, ON, N1H 3G5

PROJECT NAME AND ADDRESS
CARTER RESIDENCE
171 GUELPH AVE., CAMBRIDGE
SITE PLAN

PROJECT 2376 P34	SHEET 12
DATE 07.15.24	
SCALE 1:150	

GENERAL NOTES

ALL DRAWINGS REMAIN THE PROPERTY OF THE LANDSCAPE ARCHITECT AND SHALL NOT BE REPRODUCED OR REUSED WITHOUT THE LANDSCAPE ARCHITECT'S WRITTEN PERMISSION.
THESE DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION OR TENDER PURPOSES UNLESS SIGNED AND DATED BY LANDSCAPE ARCHITECT

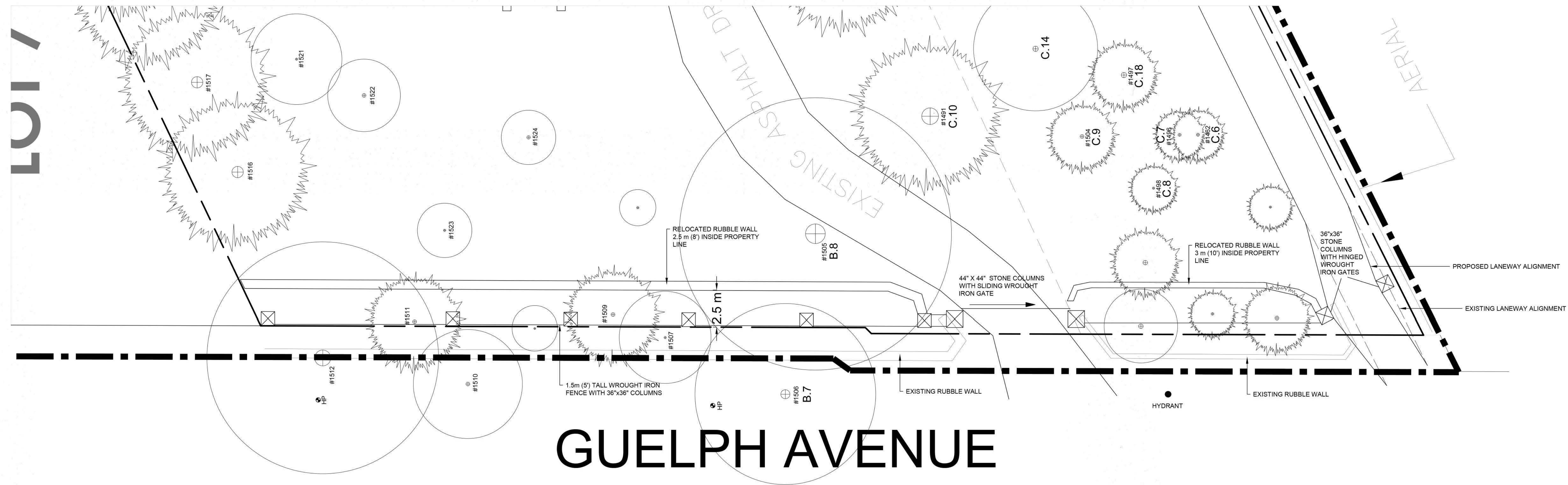


LANDSCAPE ARCHITECT
ANY ERRORS, OMISSIONS OR DISCREPANCIES TO BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO MAKE CHANGES ON SITE TO RESOLVE ANY DESIGN DISCREPANCIES DUE TO SITE CONDITIONS.

CONTRACTOR TO VERIFY LOCATION OF ALL SERVICES PRIOR TO COMMENCEMENT OF WORK AND OBTAIN REQUIRED LOCATE REQUESTS

ALL CONSTRUCTION MUST CONFORM TO THE CANADIAN LANDSCAPE STANDARD. WWW.CSLA-AIARC.CA/STANDARD
CANADIAN LANDSCAPE STANDARD
second edition

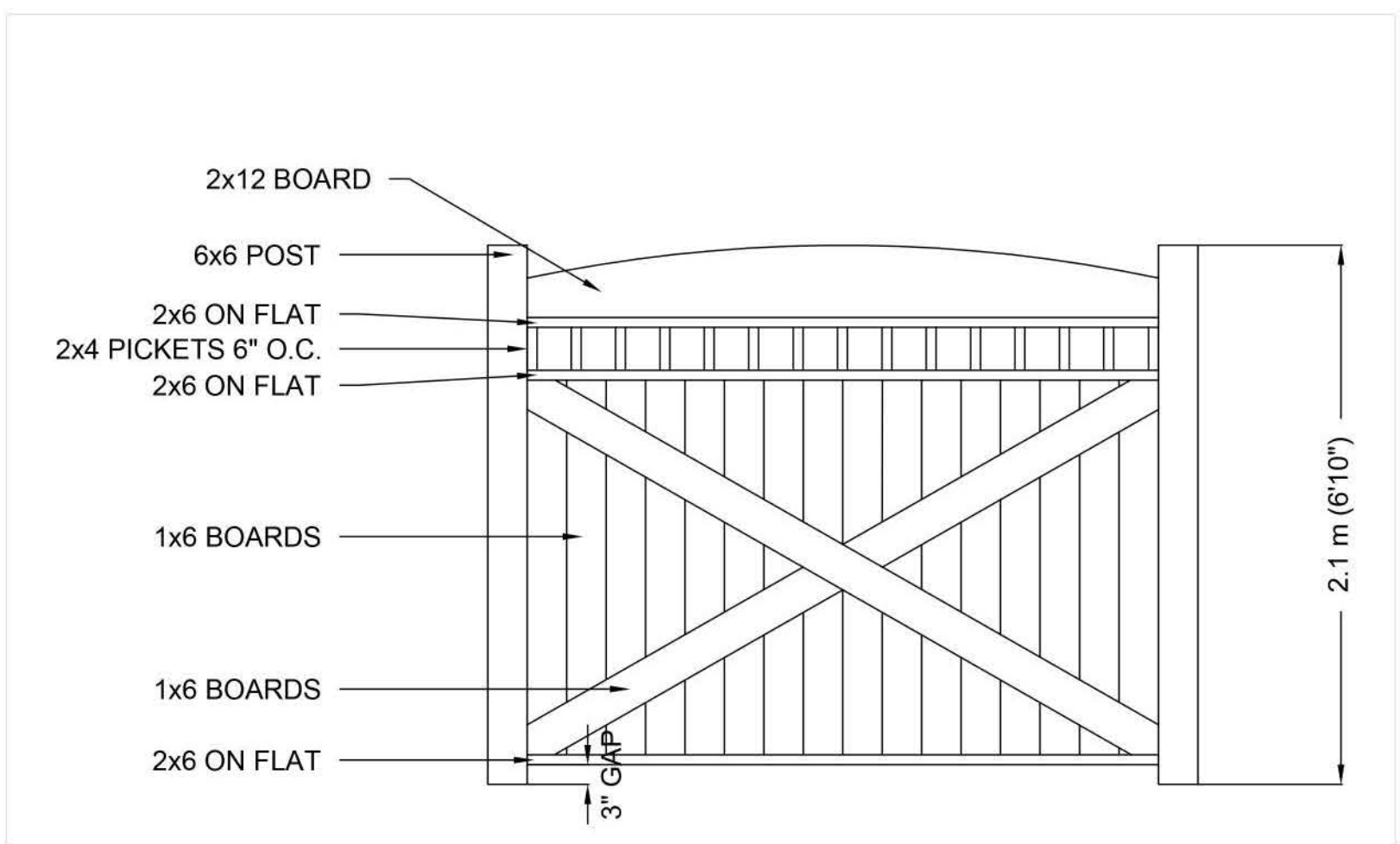
DRAWINGS NOT TO BE SCALED
WRITTEN NOTATIONS TAKE PRECEDENCE OVER GRAPHIC REPRESENTATIONS



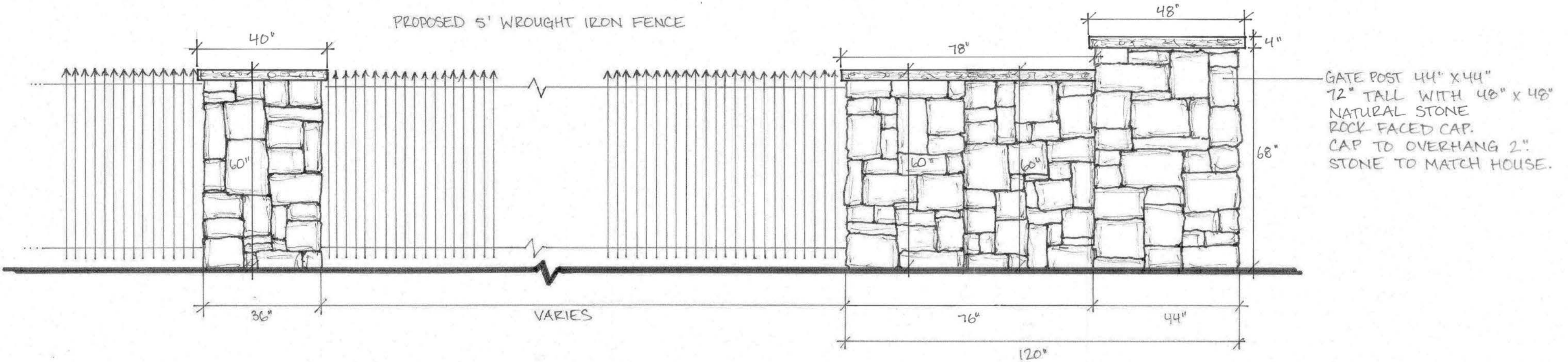
GUELPH AVENUE

1 GUELPH AVE PROPOSED FENCE LINE - PLAN VIEW
L1 SCALE: 1:100

BASE COURTESY OF POLOCORP



3 PROPOSED WOOD BOARD FENCE DETAILS
L1 SCALE: 1:20



2 WROUGHT IRON FENCE AND STONE COLUMN DETAILS
L1 SCALE: 1/2\"/>

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CANADIAN LANDSCAPE STANDARD, second edition

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WRITTEN NOTATIONS TAKE PRECEDENCE OVER GRAPHIC REPRESENTATIONS

- FLAGSTONE
- MEGA FLAGSTONE
- ARMORSTONE
- GRANITE BOULDER
- LIMESTONE ROCKERY
- GUILLOTINED NATURAL STONE STEP
- NATURAL STONE STEP
- (TBR) TO BE REMOVED
- (TRANS) TRANSPLANT
- (-21") EXISTING GRADE
- (-21") PROPOSED GRADE
- TOP OF FOUNDATION
- FG FINISHED GRADE
- DS DOWN SPOUT
- HB HOSE BIB

0 2 5 10

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 35 GALT STREET,
 GUELPH, ON, N1H 3G5
 519.766.1331

DRAWN BY: M.M. CHECKED BY:

3.	AS PER CITY COMMENTS	09.05.24
2.	FENCE VARIANCE APPLICATION	08.16.24
1.	AS PER CITY COMMENT	07.30.24
NO.	REVISION/ISSUE	DATE

FIRM NAME AND ADDRESS

PROJECT NAME AND ADDRESS
 CARTER RESIDENCE
 PROPERTY FENCING

PROJECT	SHEET
2376 P24	L1
DATE	
07.15.24	
SCALE	
AS NOTED	

FRAMING NOTES
 USE (3) 2"x8" HEADERS C/W 3-2x6 POST (1 JACK + 2 KING) UNLESS OTHERWISE NOTED.
 TRUSSED ROOF AS PER MANUFACTURER'S SPECIFICATIONS.
 ROOF OVER FRAME RAFTERS TO BE 2"x6" @ 16" O.C. C/W 2"x4" COLLAR TIES AS REQUIRED UNLESS OTHERWISE NOTED.
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CONCRETE NOTES
 ALL EXTERIOR FOUNDATION WALLS TO BE 9" FOURED CONCRETE C/W 6"x20" CONCRETE FOOTINGS.

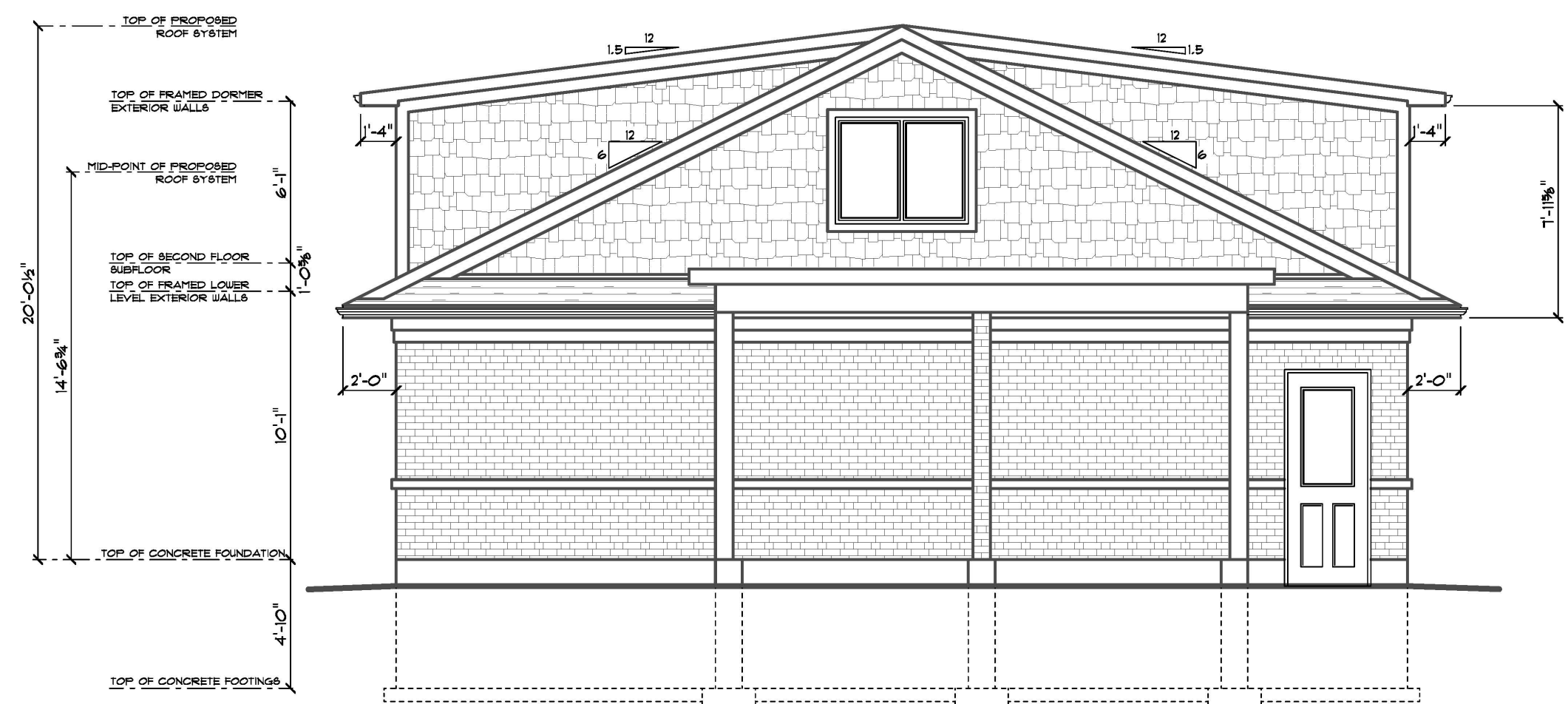
GENERAL NOTES
 ALL STEEL BEAMS + HSS COLUMNS TO BE GRADE 350W.
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 PROVIDE SOLID BLOCKING @ WALLS ADJACENT TO WATER CLOSETS TO FACILITATE FUTURE WATER CLOSET GRAB BARB.

MASONRY LINTELS: (FROM PART 9 - TABLE 9.20.5.2A)

UP TO:	SPAN	BRICK	STONE
3'-11"	L 3.5" x 3.5" x 1/4"	L 5" x 3.5" x 5/16"	
4'-11"	L 3.5" x 3.5" x 5/16"	L 5" x 3.5" x 5/16"	
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SOUTH ELEVATION



WEST ELEVATION

C. FREDE DESIGN INC.
 (519) 669-4780
 ELMIRA, ONTARIO
 CRAIG.FREDE@SYMPATICO.CA

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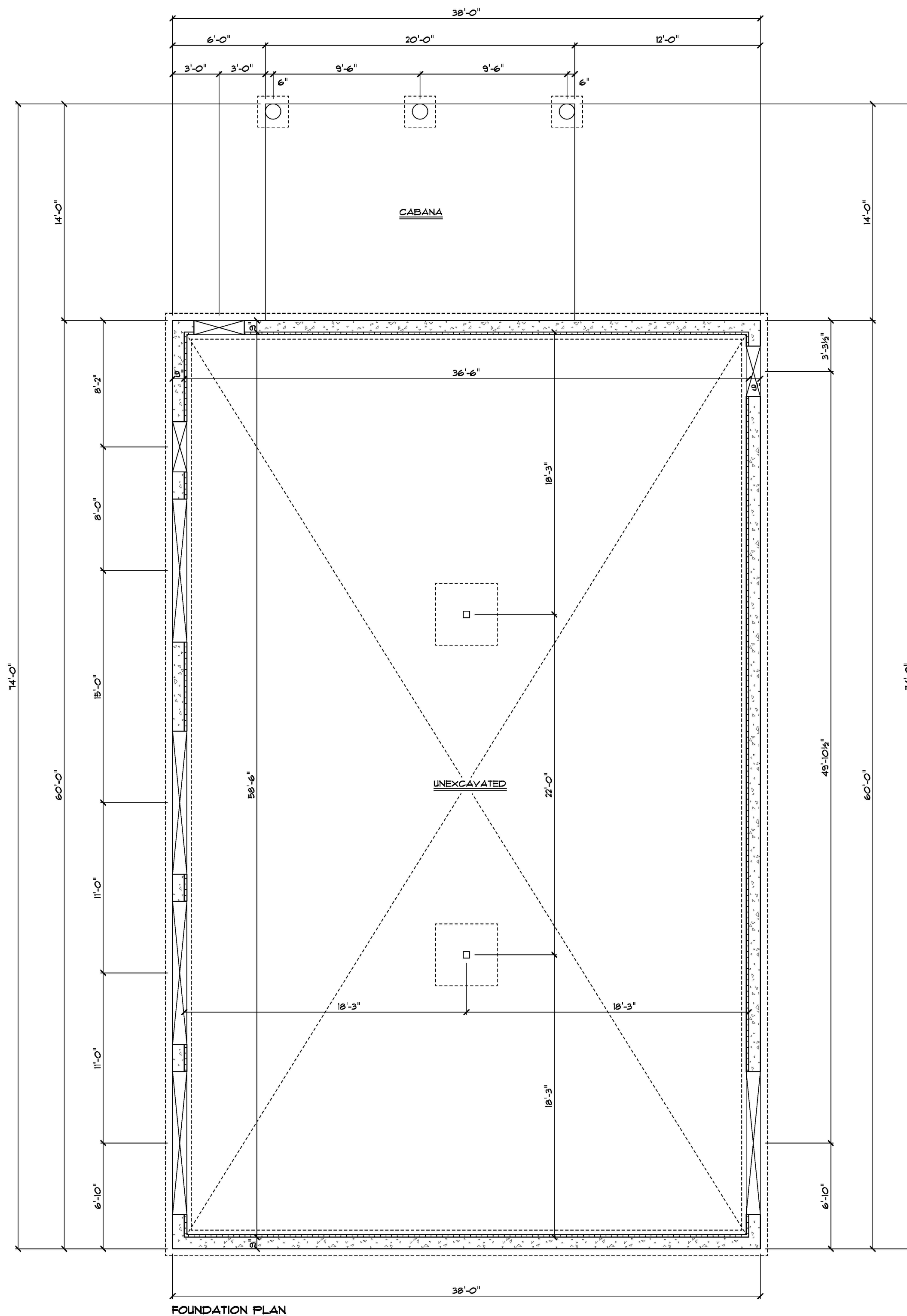
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 CRAIG FREDE RCIN # 20343
 C. FREDE DESIGN INC. RCIN # 41306

BRYDGES
LANDSCAPE ARCHITECTURE INC.
 GUELPH, ONTARIO
 519-766-1331

CARTER DETACHED GARAGE
 CAMBRIDGE, ONTARIO

DRAWING TITLE
SOUTH & WEST ELEVATIONS

DRAWN C.F.	SCALE 3/16"=1'-0"	DRAWING NO. A-1
DATE OCT. 9, 2024	FILE NO. 900-5200-24	



FRAMING NOTES
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CONCRETE NOTES
 ALL EXTERIOR FOUNDATION WALLS TO BE 9" POURED CONCRETE C/W 6"x20" CONCRETE FOOTINGS.

GENERAL NOTES
 ALL STEEL BEAMS & HSS COLUMNS TO BE GRADE BELOW.
 ALL LUMBER TO BE SPF NO. 1/2 OR BETTER MINIMUM SOIL BEARING CAPACITY TO BE 100KPa (2000psf).
 PROVIDE SOLID BLOCKING @ WALLS ADJACENT TO WATER CLOSETS TO FACILITATE FUTURE WATER CLOSET GRAB BARS.

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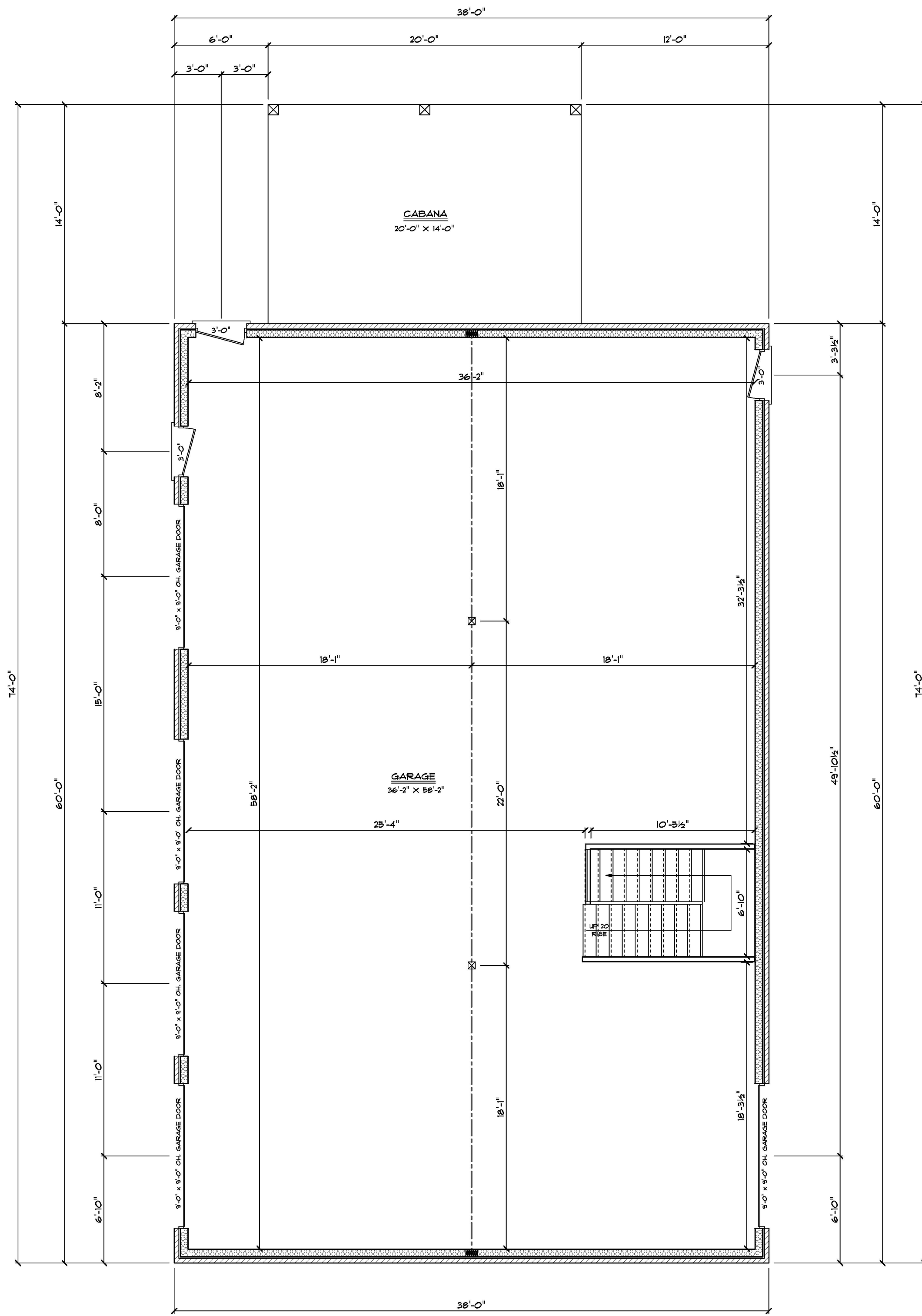
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 LANDSCAPE ARCHITECTURE INC.
 GUELPH, ONTARIO
 519-766-1331

CARTER DETACHED GARAGE
 CAMBRIDGE, ONTARIO

DRAWING TITLE
FOUNDATION PLAN

DRAWN C.F.	SCALE 3/16"=1'-0"	DRAWING NO. A-2
DATE OCT. 9, 2024	FILE NO. 900-5200-24	



FLOOR PLAN
 GARAGE FLOOR AREA: 2280 SQ.FT.
 CABANA AREA: 280 SQ.FT.

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 PROVIDE SOLID BLOCKING @ WALLS ADJACENT TO WATER CLOSETS TO FACILITATE FUTURE WATER CLOSET GRAB BARS.

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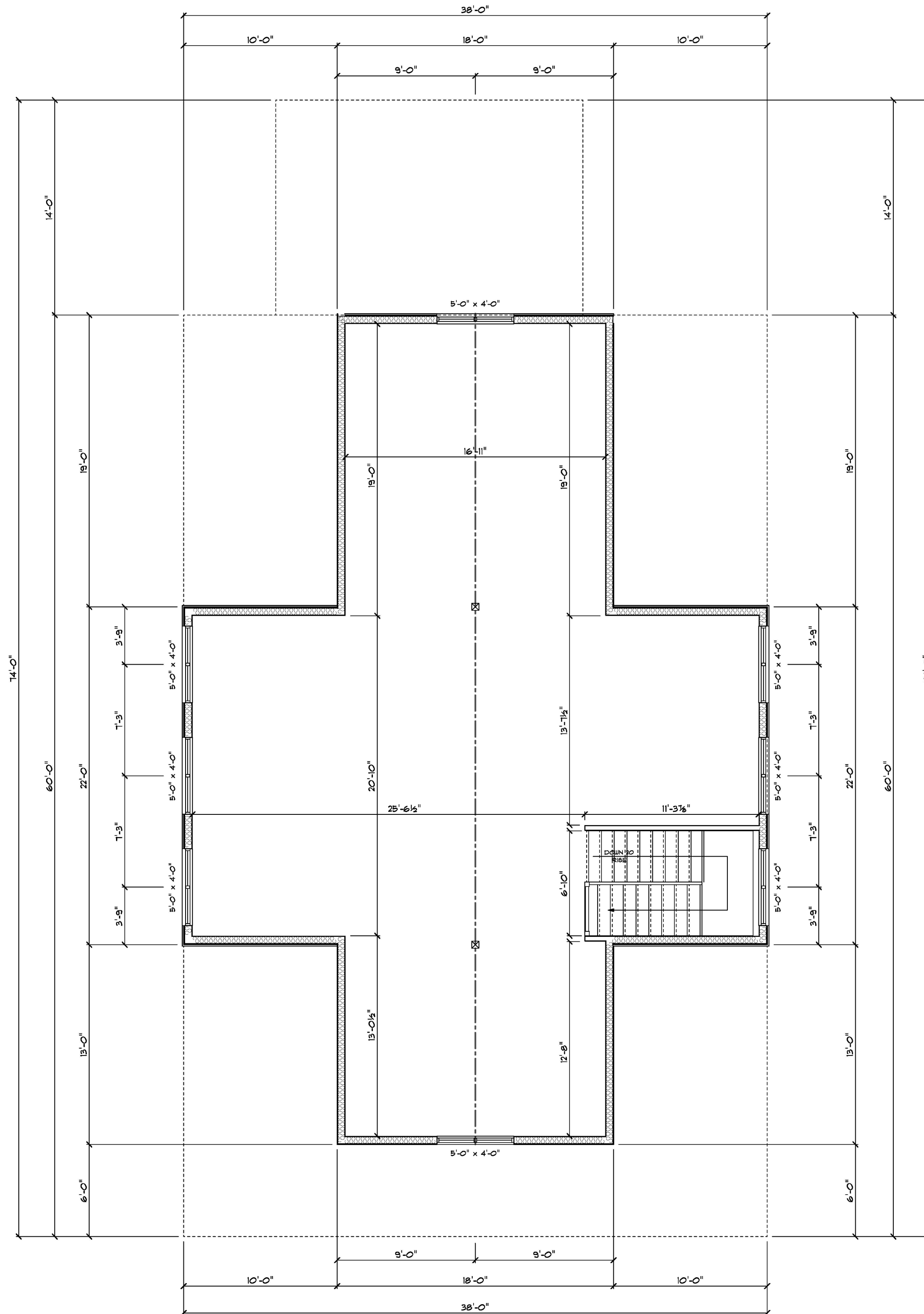
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 LANDSCAPE ARCHITECTURE INC.
 GUELPH, ONTARIO
 519-766-1331

CARTER DETACHED GARAGE
 CAMBRIDGE, ONTARIO

DRAWING TITLE
FLOOR PLAN

DRAWN C.F.	SCALE 3/16"=1'-0"	DRAWING NO. A-3
DATE OCT. 9, 2024	FILE NO. 900-5200-24	



SECOND FLOOR PLAN
 SECOND FLOOR AREA: 1420 SQ.FT.

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CARTER DETACHED GARAGE
 CAMBRIDGE, ONTARIO

DRAWING TITLE
SECOND FLOOR PLAN

DRAWN C.F.	SCALE 3/16"=1'-0"	DRAWING NO.
DATE OCT. 9, 2024	FILE NO. 900-5200-24	A-4

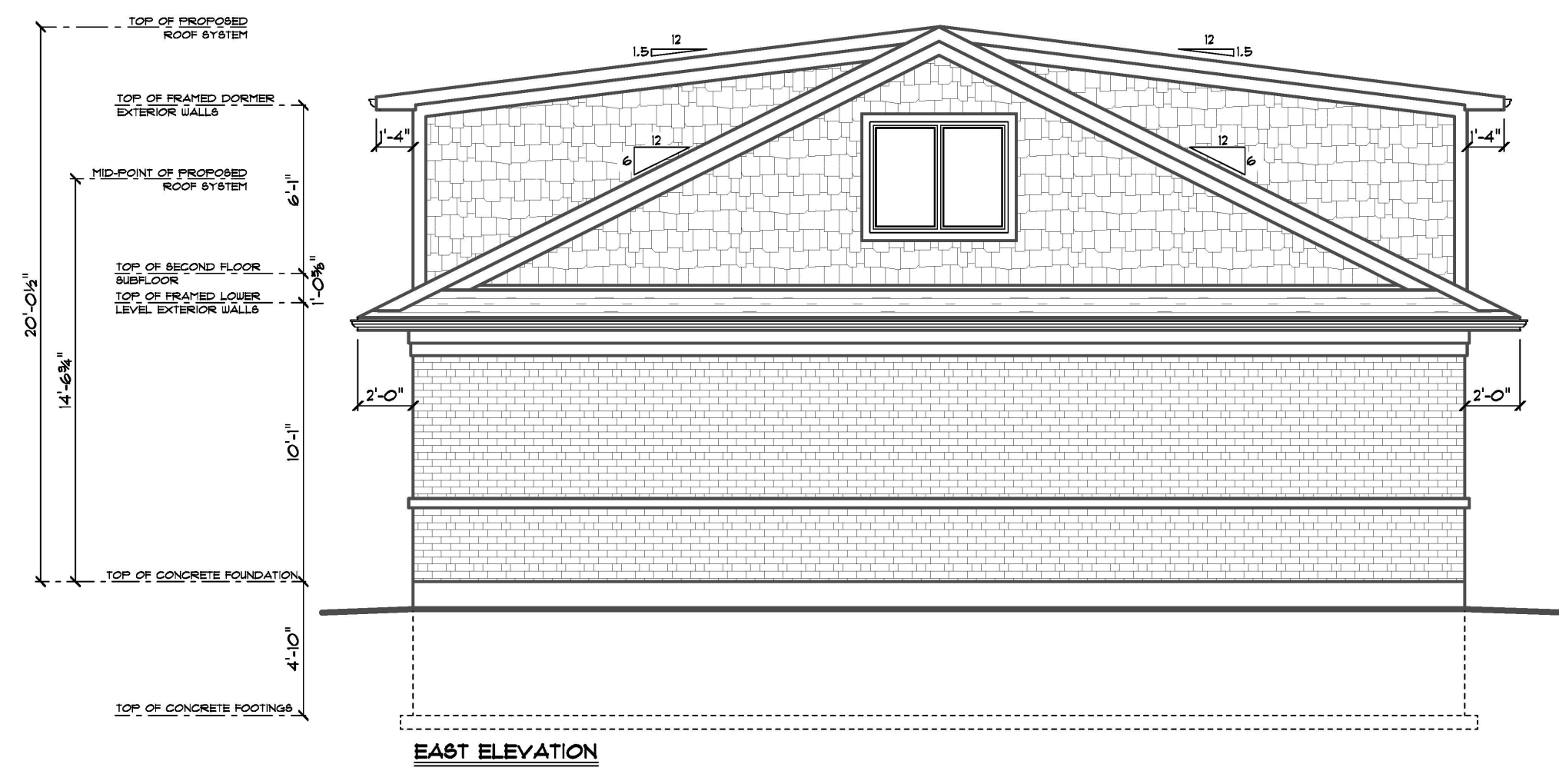
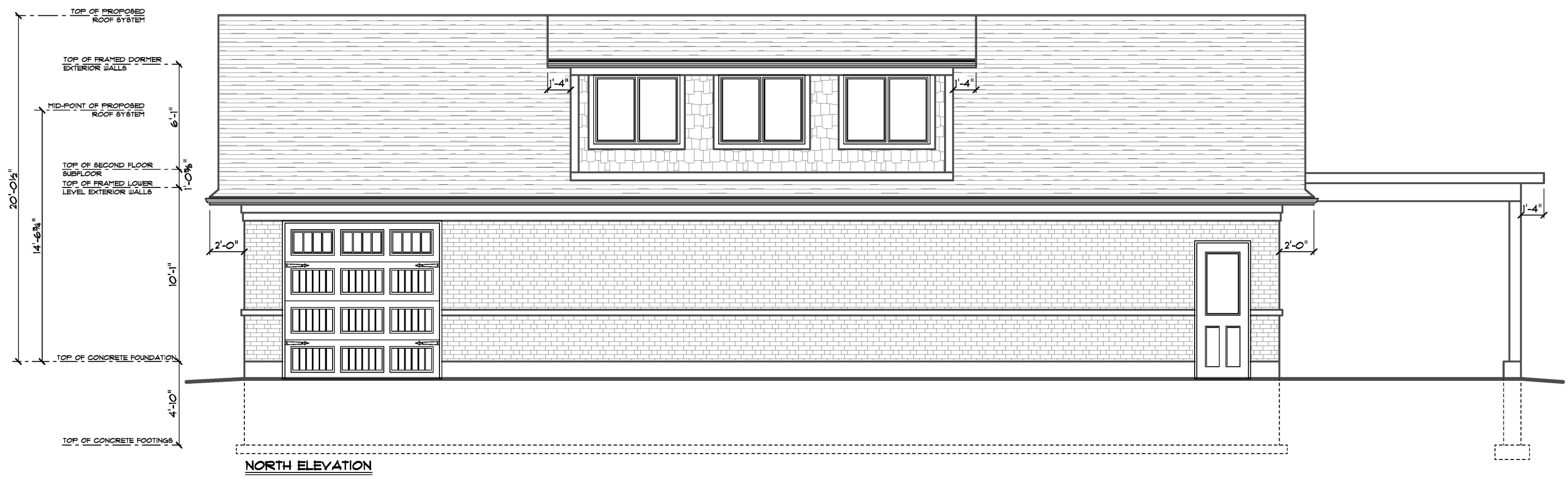
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CARTER DETACHED GARAGE
 CAMBRIDGE, ONTARIO

DRAWING TITLE
NORTH & EAST ELEVATIONS

DRAWN C.F.	SCALE 3/16"=1'-0"	DRAWING NO. A-5
DATE OCT. 9, 2024	FILE NO. 900-5200-24	